



Staff Liaison
Sean Moss | 510.215.4330
smoss@ci.el-cerrito.ca.us

AGENDA

REGULAR MEETING OF THE PLANNING COMMISSION

January 15, 2025 at 7:30 p.m.

City Council Chambers, El Cerrito City Hall
10890 San Pablo Avenue
El Cerrito, CA 94530

7:30 p.m. CONVENE REGULAR MEETING

1. **ROLL CALL** – Chair Joy Navarrete; Vice Chair Erin Gillett; Members Daniel Hamilton, Leslie Mendez, Michael Norwood, Abhijeet Singh, and Nathan Tinclair
2. **COUNCIL/STAFF LIAISON ANNOUNCEMENTS AND REPORTS**
The City Council Liaison or City staff may report on matters of general interest to the Planning Commission, Council policies, priorities and significant actions taken by the City Council.
3. **ORAL COMMUNICATIONS FROM THE PUBLIC**
Remarks are typically limited to three minutes per person, and may be on anything within the subject matter jurisdiction of the body. Remarks on non-agenda items will be heard first, remarks on agenda items will be heard at the time the item is discussed.
4. **ADOPTION OF MINUTES**
Adoption of the November 20, 2024 meeting minutes.
5. **COMMISSIONER COMMUNICATION/CONFLICT OF INTEREST DISCLOSURE**
This time on the agenda is reserved for Commissioners to disclose communications from individuals regarding specific agenda items or to state a potential conflict of interest in relation to a specific agenda item.
6. **PUBLIC HEARING: 1212 NAVELLIER STREET – CONDITIONAL USE PERMIT**
Application: PL24-0115
Applicant: Anna Misharina
Location: 1212 Navellier Street
APN: 505-090-011
Zoning: RS-5 (Single Family Residential)
General Plan: Low Density Residential
Request: Planning Commission consideration of a proposed 555 square foot addition to the rear of an existing single-family house that requires a Conditional Use Permit for enlarging a house considered legally nonconforming because it contains one covered parking space and would result in more than 3 bedrooms (Chapter 19.27 and Chapter 19.34, ECMC).

CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

7. STAFF COMMUNICATIONS

Informational reports on matters of general interest, presented by City staff.

8. ADJOURNMENT

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact Sean Moss at (510) 215-4330. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (28 CFR 35.102-35.104 ADA Title I).

Any writings or documents provided to a majority of the members regarding any item on this agenda will be made available for public inspection.



THE CITY OF
EL CERRITO
COMMUNITY DEVELOPMENT
DEPARTMENT

Staff Liaison
Sean Moss | 510.215.4330
smoss@ci.el-cerrito.ca.us

MINUTES

REGULAR MEETING OF THE PLANNING COMMISSION

November 20, 2024 at 7:30 p.m.

City Council Chambers, El Cerrito City Hall
10890 San Pablo Avenue
El Cerrito, CA 94530

7:30 p.m. CONVENE REGULAR MEETING

1. **ROLL CALL** – Chair Joy Navarrete; Vice Chair Erin Gillett; Members Daniel Hamilton, Leslie Mendez, Michael Norwood and Nathan Tincclair. Member Abhijeet Singh had an excused absence.
2. **COUNCIL/STAFF LIAISON ANNOUNCEMENTS AND REPORTS**
Nothing was reported.
3. **ORAL COMMUNICATIONS FROM THE PUBLIC**
No speakers addressed the Commission.
4. **ADOPTION OF MINUTES**
Moved/Second: Commissioners Hamilton/Mendez. **Action:** Passed a motion to adopt the September 18, 2024 special meeting minutes.
Ayes: Gillett, Mendez, Navarrete, Norwood, Hamilton, Tincclair
Noes: None
Abstain: None
Absent: Singh
5. **ADOPTION OF THE 2025 REGULAR PLANNING COMMISSION MEETING SCHEDULE**
Moved/Second: Commissioners Navarrete/Gillett. **Action:** Passed a motion to adopt the 2025 Regular Planning Commission Meeting Schedule.
Ayes: Gillett, Mendez, Navarrete, Norwood, Hamilton, Tincclair
Noes: None
Abstain: None
Absent: Singh
6. **COMMISSIONER COMMUNICATION/CONFLICT OF INTEREST DISCLOSURE**
Nothing was reported.
7. **PUBLIC HEARING: 729 KEARNEY - ADMINISTRATIVE USE PERMIT AMENDMENT**
Application: PL24-0101
Applicant: Gunkel Architecture
Location: 729 Kearny Street
APN: 503-392-026

Zoning: TOMIMU
General Plan: TOMIMU
Request: Planning Commission consideration of an Administrative Use Permit Amendment for a Day Care Center within an existing two-story building. The original Administrative Use Permit allowed 72 students and 10 employees to occupy the first floor of the building. The requested amendment would allow the use of the second story of the building for classrooms and would allow for a total of 14 employees and 154 students for the entire building.

CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15332 of the CEQA Guidelines, Class 32: Infill Development Projects.

Senior Planner Jeff Ballantine presented the staff report.

Amber Baker, Bingyi Yu, and Xin Dong provided a presentation for the applicant team.

The public hearing was opened.

No speakers addressed the Commission.

The public hearing was closed.

Moved/Second: Commissioners Navarrete/Tinclair. **Action:** Passed a motion to approve Final Subdivision Map to create fourteen condominium residential units at 1715 Elm Street.

Ayes: Gillett, Hamilton, Mendez, Navarrete, Norwood, Tinclair

Noes: None

Abstain: None

Absent: Singh

8. **STUDY SESSION: SAFETY ELEMENT UPDATE**

Applicant: City of El Cerrito

Location: Citywide

Request: Planning Commission study session on the draft policies for the update of the General Plan Safety Element.

Planning Manager Sean Moss and Eli Krispi from Placeworks presented the staff report.

The public hearing was opened.

The following members of the public addressed the Commission:

Veronica Gould

Sue Duncan

Paul Duncan

Janet Byron

John Bashor

Betsy Bashor

Phil Beilin

Claudia Cruzie

The public hearing was closed.

Planning Commissioners provided input on the draft policies of the General Plan Safety Element.

Planning Manager Sean Moss provided information regarding next steps for the General Plan Safety Element.

9. STAFF COMMUNICATIONS

Planning Manager Sean Moss updated the Commission on upcoming public meetings including a Richmond Complete Streets Community Meeting, a joint Planning Commission and Economic Development Committee meeting on outdoor dining, and a community meeting on housing programs and accessory dwelling units. Sean also provided updates on hiring a consultant for the Parking Management Implementation Plan; the passage of Measure G; and the Transit-Oriented Community Policy of the Metropolitan Transportation Commission (MTC).

10. ADJOURNMENT

9:04 p.m.

Joy Navarrete, Chair

This is to certify that the foregoing is a true and correct copy of the minutes of the regular Planning Commission meeting of September 18, 2024, as approved by the Planning Commission.

Sean Moss, Staff Liaison



Community Development Department
Planning and Building Division
10890 San Pablo Avenue, El Cerrito, CA 94530
(510) 215-4330 | planning@ci.el-cerrito.ca.us

PLANNING COMMISSION CONDITIONAL USE PERMIT REPORT

January 15, 2025

1212 NAVELLIER STREET ADDITION

DETAILS

Application Number: PL24-0115

Applicant: Anna Misharina

Location: 1212 Navellier Street

APN: 505-090-011

Zoning: RS-5 (Single Family Residential)

General Plan: Low Density Residential

Request: Planning Commission consideration of a proposed 555 square foot addition to the rear of an existing single-family house that requires a Conditional Use Permit for enlarging a house considered legally nonconforming because it contains one covered parking space and would result in more than 3 bedrooms (Chapter 19.27 and Chapter 19.34, ECMC).

CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

EXECUTIVE SUMMARY

The proposal is a 555 sq. ft. addition which would create a new family room, a fourth bedroom, a second bathroom, a powder room and would enlarge the kitchen and dining room.

The existing house has one covered parking space which does not conform to the current requirement of two covered parking spaces for single-family houses, pursuant to Section 19.24.080 of the El Cerrito Municipal Code (ECMC). The expansion of a single-family house with one covered parking space that results in a house with more than three bedrooms requires a Conditional Use Permit, pursuant to Section 19.27.050, ECMC.

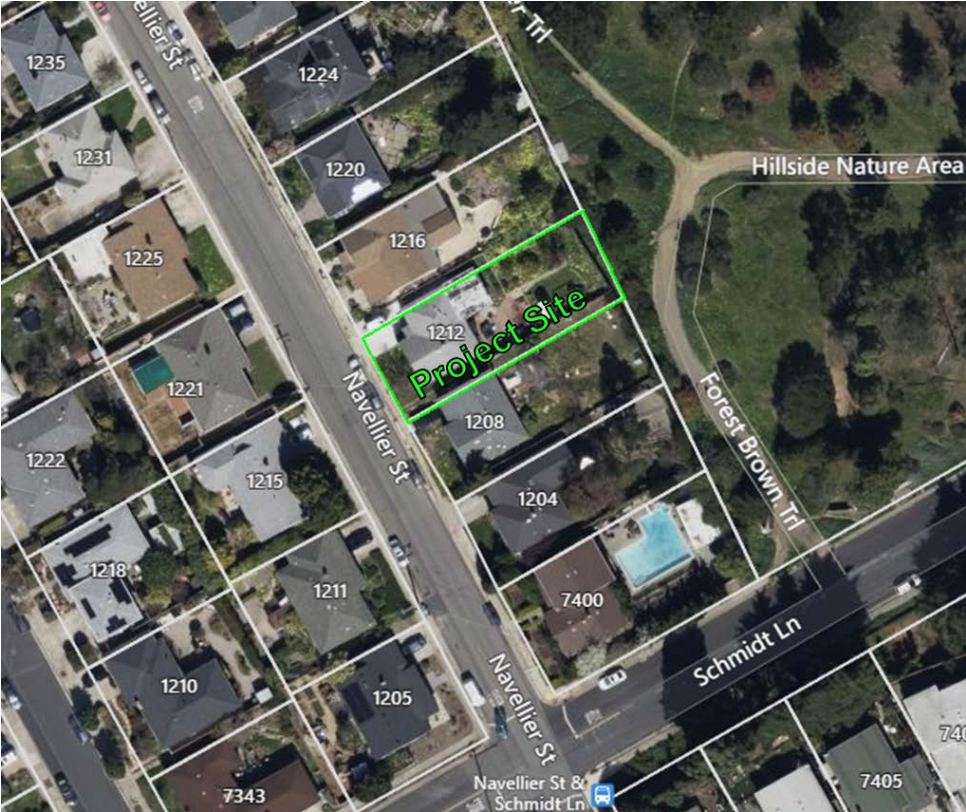
Based on the evidence and analysis contained in this report, staff is recommending approval of the Conditional Use Permit.

Background

Site Location and Layout

The existing 1,361 square foot single-family house sits on a 6,075 square foot lot in the RS-5 (Single Family Residential) zoning district. The lot slopes downwards from the northeast corner of the property to the southwest corner of the property. The existing house has a living room, a family and dining room, a kitchen, three bedrooms, and one bathroom. The surrounding neighborhood contains mostly single-family houses. The surrounding houses are a mixture of one-story and two-story houses.

Vicinity Map



Adjacent Designations and Land Uses

North: Single Family Residential (RS-5) Zoning and Low Density Residential General Plan designation. Single family house.

South: Single Family Residential (RS-5) Zoning and Low Density Residential General Plan designation. Single family house.

West: Single Family Residential (RS-5) Zoning and Low Density Residential General Plan designation. Single family house.

East: Public and Semipublic (PS) Zoning and Parks and Open Space General Plan designation. Hillside Natural Area open space.

Site Photo



View from Navellier Street

Analysis

Project Description

The applicant is proposing a 555 sq. ft. addition to the rear of the existing house which would create a new family room, a fourth bedroom, a second bathroom, a powder room and would enlarge the kitchen and dining room. The resulting building would have 4 bedrooms, 2 ½ bathrooms, a kitchen, a living room, a dining room, a family room, and a one car garage.

Consistency with the Zoning District

Section 19.06.030 of the El Cerrito Municipal Code prescribes the development regulations for residential districts, including lot dimensions, building form and location, pedestrian orientation, vehicle accommodation and other standards. As noted in Table 1, the proposed conversion is in compliance with the development standards except for the requirement for two covered parking spaces.

Table 1: Comparative Development Standards – RS-5 Zone and Proposed Project

Development Standard	Zoning Ord. Requirement	Existing	Proposed	Complies
Height (maximum)	25' maximum	16'-3"	No change	Yes
Height (at setback lines)	15' maximum	11'-1"	No change	Yes
Setbacks				
Front (house)	10'	18'-2"	No change	Yes
Front (covered parking)	20'	27'-5"	No change	Yes

Side (north)	5'	5'-1"	No change	Yes
Side (south)	5'	4'-10"	5'	Existing house is existing nonconforming. The proposed addition complies.
Rear	15'	64'-5"	46'-10"	Yes
Parking spaces (covered)	2 spaces	1 space	No change	No. Existing nonconforming condition.
Lot Coverage	50% maximum	24%	33%	Yes

Nonconforming Parking

The existing and proposed number of off-street covered parking spaces of one does not conform to the current requirement of two covered parking spaces for single-family houses, pursuant to Section 19.24.080 of the El Cerrito Municipal Code (ECMC). The provisions in ECMC Section 19.27.050 (C)(2)(a)(1) allow for the expansion of a single-family house with one covered parking space if after the expansion the residence may not contain more than three bedrooms or more than 2,000 square feet of habitable floor area. Since this project does propose four bedrooms it is not eligible for the exception. Therefore, a Conditional Use Permit is required for the project pursuant to Section 19.27.050(C)(2), which allows expansions of nonconforming structures with approval of a Conditional Use Permit.

While the property does not meet the current minimum parking requirement of two covered on-site parking spaces for single family residences with the RS-5 (Single-Family Residential) zoning designation, the property contains an approximately 25 feet long by 19 feet wide driveway which is sufficient to contain 2 off street non-covered parking spaces. Pursuant to ECMC Section 19.24.060.C a standard parking space is 9 feet by 18 feet. The proposed addition will only add one additional bedroom in addition to enlarging various common spaces. The addition is proposed at the rear of the building and the existing driveway will remain the same. Since the driveway contains sufficient space for off street parking and there is only one new bedroom being added, it is not expected that addition will have a significant impact on street parking.

Public Notice and Comment

The required public notice for the project was published in the East Bay Times and mailed to owners of property within 300 feet of the project site on or before December 30, 2024. No public comments were received prior to the publication of this report.

Environmental Review

This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

Compliance with the General Plan

The Conditional Use Permit to allow an exception to the main building envelope is consistent with the following policies of the El Cerrito General Plan:

CD1.1: Neighborhood Character. Preserve and enhance the character of existing residential neighborhoods by limiting encroachment of new buildings and activities that are out of scale and character with the surrounding uses.

The proposed addition complies with all setback and building envelope requirements. The project's exceedance of the allowable number of bedrooms and habitable space for single family houses

with one covered parking space allows for the creation of a larger house that can accommodate a large family or multi-generational household.

CD1.3: High-Quality Design. Encourage higher-quality design through the use of well-crafted and maintained buildings and landscaping, use of higher-quality building materials, and attention to the design and execution of building details and amenities in both public and private projects.

As designed, the addition complies with the height, setback, and building envelope requirements. The design of the addition is in keeping with the architecture of the existing house and the surrounding neighborhood and will utilize high-quality building materials. The color and materials of the addition have been designed in a well-integrated manor with the existing building. This part of El Cerrito is comprised of single-family residences with a mix of one- and two-story houses.

CD4.1: Compatibility in Building Scale. Avoid big differences in building scale and character between developments on adjoining lots.

The building at would remain a single-level house and would comply with the height limit and lot coverage regulations of the RS-5 zone that control building scale and character. The addition's overall height and size is compatible with the houses in the surrounding neighborhood. The addition's materials, colors, and design would match those of the existing house.

Required Findings

In order to approve the Conditional Use Permit to allow an exception to the main building envelope, the Planning Commission must make the following findings, contained in Section 19.34.040 of the El Cerrito Zoning Ordinance:

1. The location, size, design, and operating characteristics of the proposed development will be harmonious and compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.

The proposed project includes creating a new family room, a fourth bedroom, a second bathroom, a powder room and enlarging the kitchen and dining room. The project is consistent with the residential nature of the surrounding neighborhood. Since the driveway contains sufficient space for two off street parking spaces and there is only one new bedroom being added, the project is not expected to negatively affect the surrounding neighborhood. The proposed addition complies with all setback and building envelope requirements.

2. The location and design of the proposal will provide a convenient and functional living, working, shopping, or civic environment that will be an attractive amenity for the City.

The proposed project includes creating a new family room, a fourth bedroom, a second bathroom, a powder room and enlarging the kitchen and dining room. The resulting building will be compatible in size with the existing buildings in the surrounding neighborhood. The proposed project would comply with all zoning standards, with the exception of ECMC Section 19.24 that requires 2 covered parking spaces. The resulting house will be an attractive addition to the neighborhood.

3. The proposal is consistent with the purpose of the district where it is located and conforms in all significant respects with the El Cerrito General Plan and with any other applicable plan adopted by the City Council.

The Conditional Use Permit will allow the expansion of a single-family home, which is a permitted land use in the RS-5 zoning district and consistent with the district's intent. The proposed project will implement the following policies of the El Cerrito General Plan: CD1.1: Neighborhood Character, LU1.3: High-Quality Design, and CD4.1: Compatibility in Building Scale.

Staff Recommendation

Based on the information contained in this report, staff recommends approval of Planning Application PL24-0115, as conditioned by the draft resolution in Attachment 1.

Proposed Motion

1. Move adoption of Planning Commission Resolution PC 2025-01 approving a Conditional Use Permit to allow a 555 sq. ft. addition of a single-family house which is legally nonconforming because it contains one covered parking space and would result in more than three bedrooms at 1212 Navellier Street.

Appeal Period

Within ten (10) calendar days after the date of the decision, the Planning Commission action may be appealed to the City Council.

Attachments

1. Draft resolution
2. Project plans

Planning Commission Resolution PC 2025-01

APPLICATION NO. PL24-0115

A RESOLUTION OF THE CITY OF EL CERRITO PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT TO ALLOW A 555 SQ. FT. ADDITION OF A SINGLE-FAMILY HOUSE WHICH IS LEGALLY NONCONFORMING BECAUSE IT CONTAINS ONE COVERED PARKING SPACE AND WOULD RESULT IN MORE THAN THREE BEDROOMS AT 1212 NAVELLIER STREET

WHEREAS, the site is located at 1212 Navellier Street; and

WHEREAS, the existing Assessor's Parcel Number of the site is 505-090-011; and

WHEREAS, the General Plan land use classification of the site is Low Density Residential; and

WHEREAS, the zoning district of the site is RS-5 (Single Family Residential); and

WHEREAS, the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities; and

WHEREAS, on December 9, 2024, Anna Misharina (the "applicant") submitted an application for a Conditional Use Permit to allow a 555 sq. ft. addition of a single-family house which is legally nonconforming because it contains one covered parking space and would result in more than three bedrooms at 1212 Navellier Street (pursuant to Section 19.27.050 of the El Cerrito Municipal Code); and

WHEREAS, on January 15, 2025, the Planning Commission, after due consideration of all evidence and reports and application materials offered for review does find and determine the following:

1. The proposed project includes creating a new family room, a fourth bedroom, a second bathroom, a powder room and enlarging the kitchen and dining room. The project is consistent with the residential nature of the surrounding neighborhood. Since the driveway contains sufficient space for two off street parking spaces and there is only one new bedroom being added, the project is not expected to negatively affect the surrounding neighborhood. The proposed addition complies with all setback and building envelope requirements.
2. The proposed project includes creating a new family room, a fourth bedroom, a second bathroom, a powder room and enlarging the kitchen and dining room. The resulting building will be compatible in size with the existing buildings in the surrounding neighborhood. The proposed project would comply with all zoning standards, with the exception of ECMC Section 19.24 that requires 2 covered parking spaces. The resulting house will be an attractive addition to the neighborhood.
3. The Conditional Use Permit will allow the expansion of a single-family home, which is a permitted land use in the RS-5 zoning district and consistent with the district's intent. The proposed project will implement the following policies of the El Cerrito General Plan: CD1.1: Neighborhood Character, LU1.3: High-Quality Design, and CD4.1: Compatibility in Building Scale.

NOW, THEREFORE, BE IT RESOLVED, that after careful consideration of maps, facts, exhibits, correspondence, and testimony, and other evidence submitted in this matter, and, in consideration of the findings, the El Cerrito Planning Commission hereby approves Application No. PL24-0115, subject to the following conditions:

Planning Division:

1. The project will be constructed substantially in conformance with the plans received by the City on January 10, 2025. Minor changes may be approved by the Zoning Administrator. All improvements shall be installed in accordance with these approvals. Once constructed or installed, all improvements shall be maintained as approved.
2. If the applicant constructs buildings or makes improvements in accordance with these approvals, but fails to comply with any of the Conditions of Approval or limitations set forth in these Conditions of Approval and does not cure any such failure within a reasonable time after notice from the City of El Cerrito, then such failure shall be cause for non-issuance of a certificate of occupancy, revocation or modification of these approvals or any other remedies available to the City.
3. These Conditions of Approval shall apply to any successor in interest in the property and Applicant shall be responsible for assuring that the successor in interest is informed of the terms and conditions of this approval.
4. If not used, this approval shall expire two years from the date of this action.
5. A construction staging plan shall be submitted to the Zoning Administrator for review and approval prior to the issuance of a building permit. The construction staging plan shall illustrate where the construction equipment will be staged and the location of parking for the construction employees. This construction and staging plan may also require the submission of a Temporary Use Permit.

CERTIFICATION

I certify that this resolution was adopted by the El Cerrito Planning Commission at a regular meeting held on January 15, 2025, upon motion of Commissioner _____, second by Commissioner _____:

AYES:

NOES:

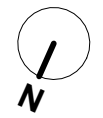
ABSTAIN:

ABSENT:

Sean Moss, AICP
Planning Manager

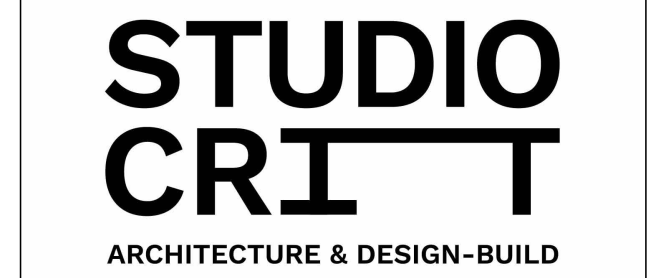
SITE PLAN LEGEND

- EXISTING STRUCTURE
- PROPOSED ADDITION
- SITE ELEMENTS TO BE DEMOLISHED



SITE PLAN NOTES:
 1. SEE SITE SURVEY FOR ADDITIONAL (E) INFORMATION SUCH AS PROPERTY LINES DIMENSIONS, (E) BLDG SETBACK, TOPOGRAPHY, METERS LOCATION, TREE TRUNK CIRCUMSTANCES, ETC.

GENERAL NOTES:
 1. APPLICABLE CODES: ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS, CONSTRUCTION CRITERIA SET FORTH IN THESE DOCUMENTS AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE PERFORMED BY THE CONTRACTOR. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 2022 CALIFORNIA RESIDENTIAL BUILDING CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA ENERGY CODE (TITLE 24)
 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (TITLE 24, PART 11) (CALGREEN)
 THE CITY OF EL CERRITO MUNICIPAL CODE
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE.
 3. ALL 1/4" PLAN DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
 4. ALL ELEVATIONS, ENLARGED PLANS, RCP PLANS, ELECTRICAL PLANS AND DETAIL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
 5. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS SHALL APPLY IN SIMILAR LOCATIONS AND CONDITIONS.
 6. THESE DOCUMENTS DESCRIBE DESIGN INTENT. CONTRACTOR IS RESPONSIBLE TO PROVIDE COMPLETE OPERATIONAL SYSTEM AND INSTALLATIONS.
 7. ELECTRICAL, MECHANICAL & PLUMBING WORK TO BE DESIGN/BUILD PER CEC, CMC & CPC.
 8. CONTRACTOR SHALL IMPLEMENT CITY OF WALNUT CREEK CONSTRUCTION & DEMOLITION DEBRIS RECYCLING PLAN.



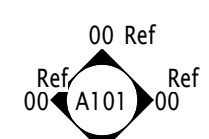
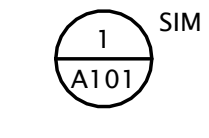
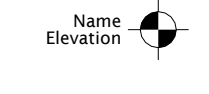
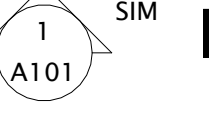
JASON REINKING AND NE FERGUSON
 1212 NAVELLIER ST,
 EL CERRITO, CA 94530
 314 753 6368

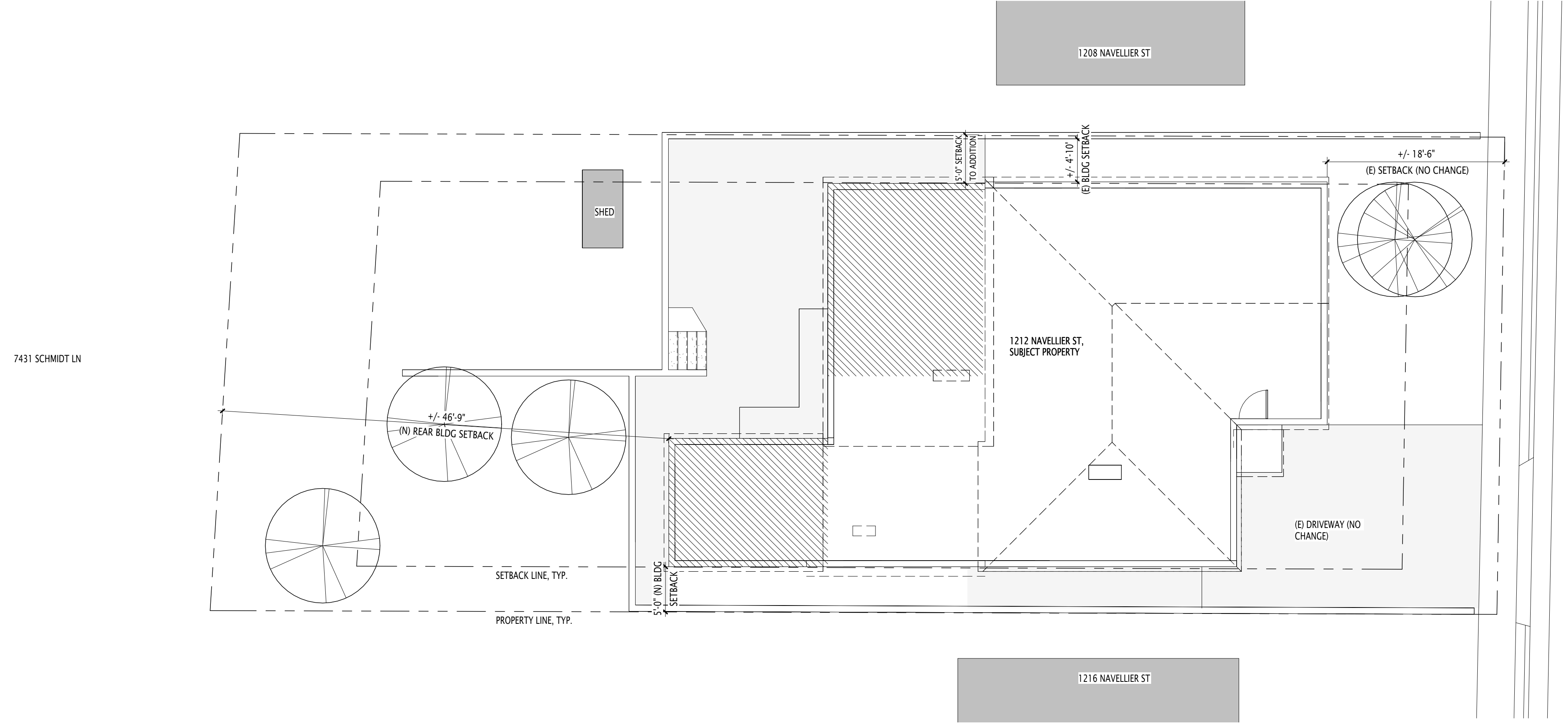
PARCEL NUMBER: 505-090-011
 GENERAL PLAN: LOW DENSITY
 ZONING: RS-5
 YEAR: 1952
 LOT SIZE: 6,672 SQ FT
 TYPE OF CONSTRUCTION: V-B
 STORIES: (E) = 1, (P) = 1 (NO CHANGE)
 HEIGHT: (E) = 12'-8", (P) = 12'-8" (NO CHANGE)
 COVERED PARKING SPACE: (E) = 0, (P) = 2

EXISTING FLOOR AREA:
 CONDITIONED SPACE 1,361 SQ FT
 UNCONDITIONED SPACE (GARAGE) 268 SQ FT
 EXISTING LOT COVERAGE:
 1,629 SQ FT/6,672 SQ FT = 24%
 PROPOSED FLOOR AREA:
 CONDITIONED SPACE 1,981 SQ FT
 UNCONDITIONED SPACE (GARAGE) 211 SQ FT
 TOTAL ADDITION: 555 SQ FT
 PROPOSED LOT COVERAGE:
 2,192 SQ FT/6,672 SQ FT = 33%

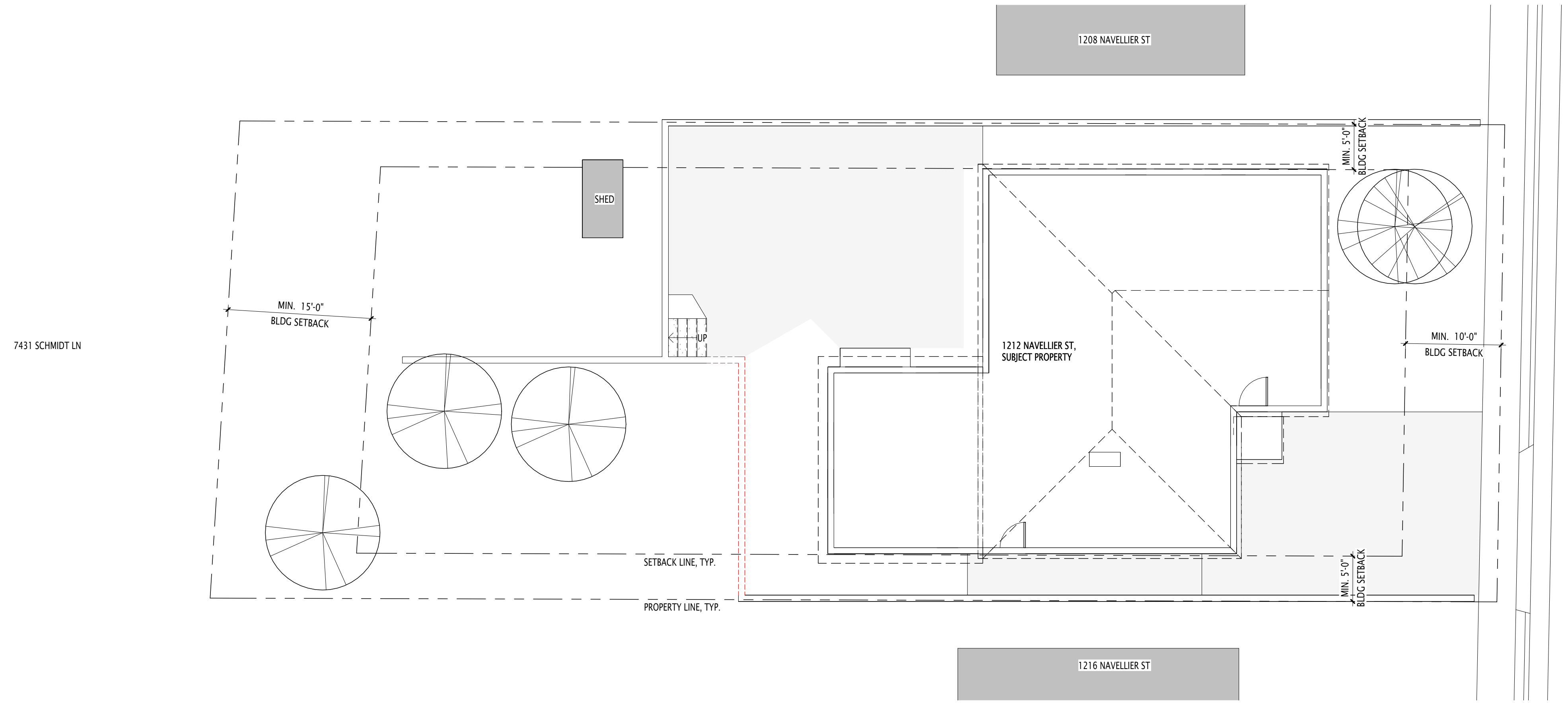
SCOPE OF WORK:
 THE PROJECT SCOPE INCLUDES A REMODEL/ADDITION TO A SINGLE STORY SINGLE-FAMILY RESIDENCE. UPDATES TO MEP THROUGHOUT AS NECESSARY.

DRAWING INDEX:
 A1.0 - COVER PAGE, SITE PLANS
 A2.0 - (E) + (P) FLOOR PLANS
 A3.0 - 1 - (E) & (P) ELEVATIONS
 MEP-1 - REFLECTED CEILING PLAN
 S1 - FOUNDATION PLAN
 S2 - ROOF FRAMING PLAN

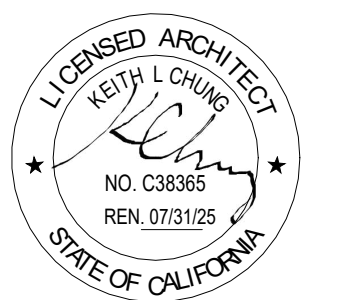
ABBREVIATION	SYMBOLS
A.F.F. - ABOVE FINISH FLOOR	 ELEVATION
B/W - BETWEEN	
D - DRYER	 CALLOUT
DW - DISH WASHER	
(E) - EXISTING	 LEVEL
EQ - EQUAL	
F - FURNACE	 SECTION
GFCI - GROUND FAULT CIRCUIT INTERRUPTER	
(N) - NEW	
(P) - PROPOSED	
SB - DOWNSPROUT & SPLASH BLOCK	
SL - SLIDING WINDOW	
TYP. - TYPICAL	
U.O.N - UNLESS OTHERWISE NOTED	
V.W.O. - VERIFY WITH OWNER	
W - WASHER	
W/ - WITH	
WH - WATER HEATER	
WP - WATER PROOF	



2 PROPOSED SITE AND LANDSCAPE PLAN
 1/8" = 1'-0"

1 EXISTING AND DEMO SITE AND LANDSCAPE PLAN
 1/8" = 1'-0"

No.	Description	Date

PREPARED BY:
 STUDIO CRIT
 P.O. BOX 395, ORINDA, CA 94563
 (510) 467-3140
 INFO@CRITSTUDIO.COM

EXISTING AND PROPOSED SITE PLAN

Project number	2407
Date	7/26/2024
Drawn by	AM
Checked by	KC

A1.0

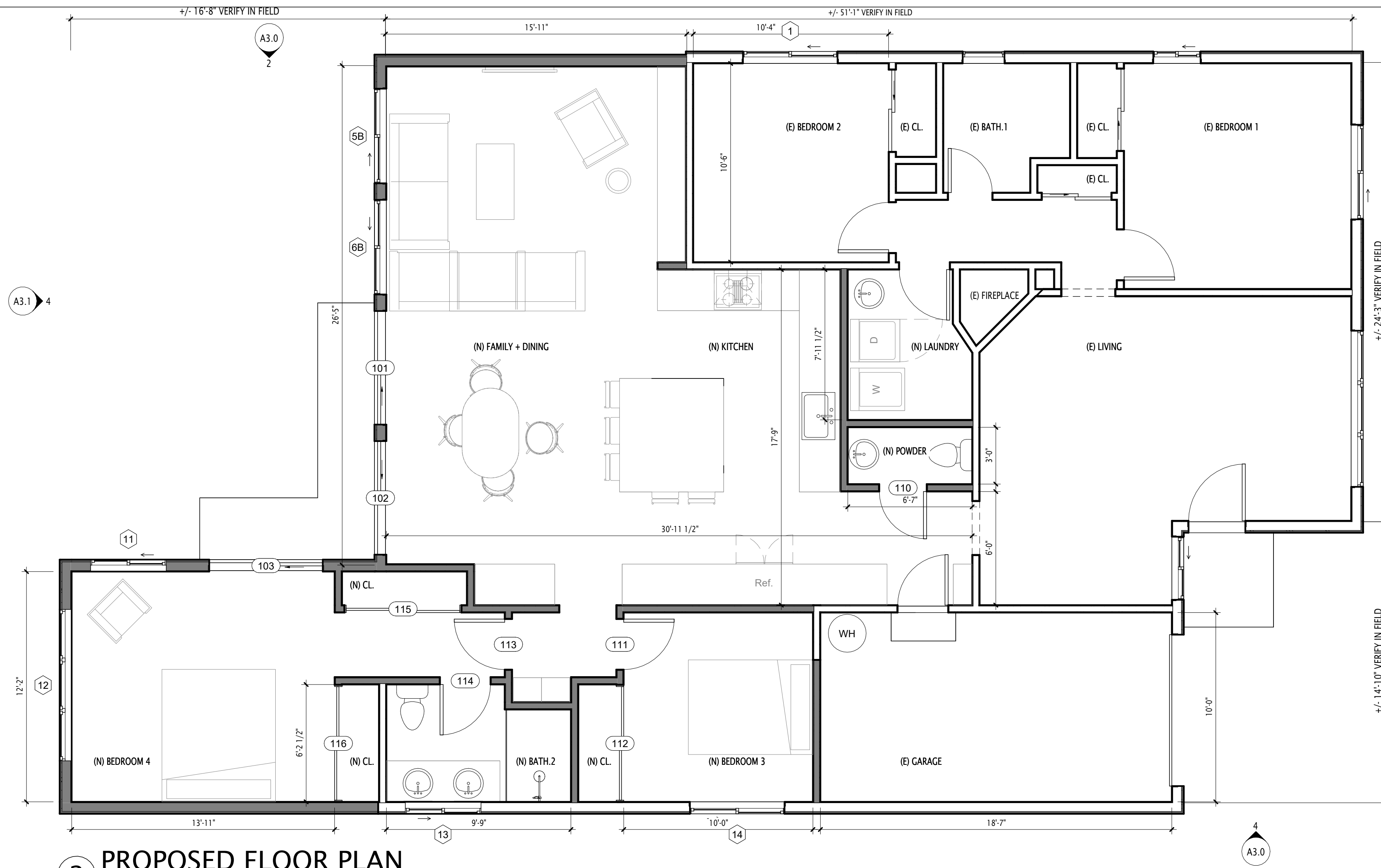
Scale As indicated

WINDOWS SCHEDULE

Mark	Width	Height	Sill Height	Type	Comments
1	5' - 0"	4' - 0"	2' - 8"	Sliding	
01	1' - 6 5/8"	4' - 2 5/8"		Skylight	Velux FS 1446
2	4' - 0"	1' - 6"	8' - 0"		Clerestory
02	1' - 5 1/2"	2' - 9 1/2"		Skylight	Velux FS 1430
3	4' - 0"	1' - 6"	8' - 0"		Clerestory
4	4' - 0"	1' - 6"	8' - 0"		Clerestory
5A	5' - 0"	1' - 6"	8' - 0"		Mulled with 5B and 5C
5B	5' - 0"	5' - 0"	3' - 0"	Sliding	Mulled with 5A and 5C
5C	5' - 0"	1' - 6"	1' - 6"		Mulled with 5B and 5A
6A	5' - 0"	1' - 6"	8' - 0"		Mulled with 6B and 6C
6B	5' - 0"	5' - 0"	3' - 0"	Sliding	Mulled with 6A and 6C
6C	5' - 0"	1' - 6"	1' - 6"		Mulled with 6B and 6A
9	6' - 0"	1' - 6"	8' - 0"		Mulled with 101
10	6' - 0"	1' - 6"	8' - 0"		Mulled with 102
11	4' - 0"	2' - 0"	6' - 0"	Sliding	
12	8' - 0"	4' - 0"	4' - 0"	Sliding	
13	4' - 0"	1' - 0"	6' - 10"		
14	5' - 0"	4' - 0"	2' - 8"	Sliding	

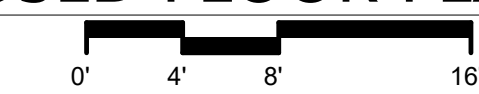
DOOR SCHEDULE

Mark	Type Mark	Family	Width	Height	Level	Operation	Comments
101	1	Door-Double-Sliding	6' - 0"	8' - 0"	F.F.		Tempered, mulled with 9
102	1	Door-Double-Sliding	6' - 0"	8' - 0"	F.F.		Tempered, mulled with 10
103	1	Door-Double-Sliding	6' - 0"	8' - 0"	F.F.		Tempered
110	4	Door-Single-Panel-Wood	2' - 6"	6' - 8"	F.F.		
111	3	Door-Single-Panel-Wood	2' - 8"	6' - 8"	F.F.	Swing	
112	5	Door-Pair of Sliding Doors-Wood	6' - 0"	6' - 8"	F.F.	Sliding	
113	3	Door-Single-Panel-Wood	2' - 8"	6' - 8"	F.F.	Swing	
114	3	Door-Single-Panel-Wood	2' - 8"	6' - 8"	F.F.	Swing	
115	5	Door-Pair of Sliding Doors-Wood	6' - 0"	6' - 8"	F.F.	Sliding	
116	5	Door-Pair of Sliding Doors-Wood	6' - 0"	6' - 8"	F.F.	Sliding	

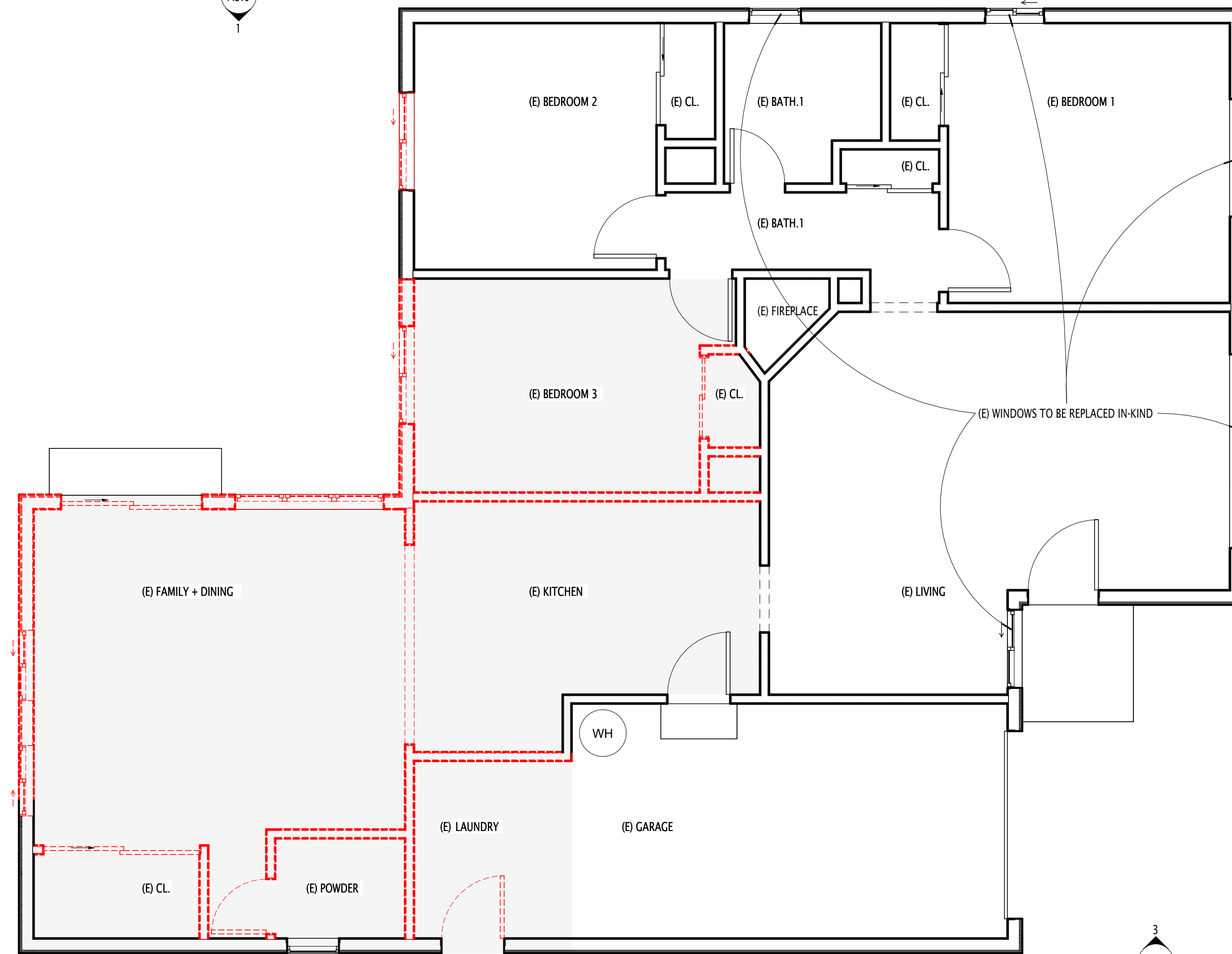


2 PROPOSED FLOOR PLAN

1/4" = 1'-0"

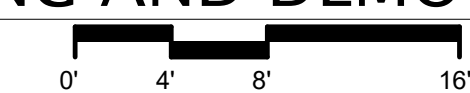


1/4" = 1'-0"



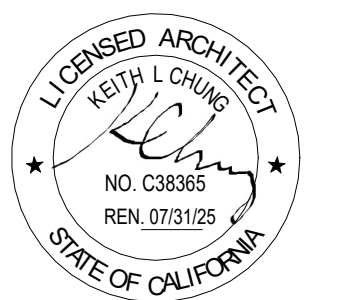
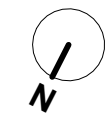
1 EXISTING AND DEMO FLOOR PLAN

1/4" = 1'-0"



FLOOR PLAN DEMO LEGEND

- EXISTING WALLS TO REMAIN
- PROPOSED WALLS
- EXISTING WALLS, DOORS, WINDOWS, STAIRS TO BE DEMOLISHED



No.	Description	Date

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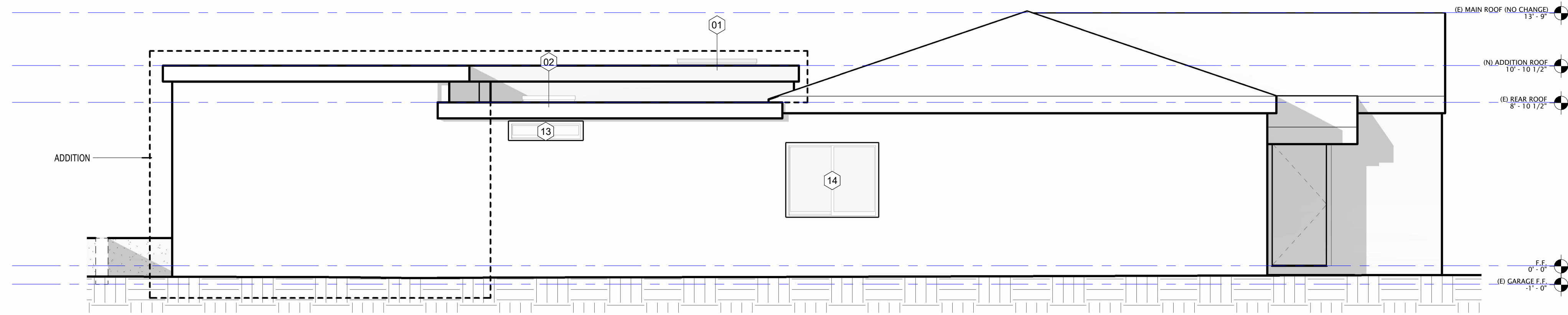
(E) AND (P) FLOOR PLANS

Project number	2407
Date	7/26/2024
Drawn by	AM
Checked by	KC

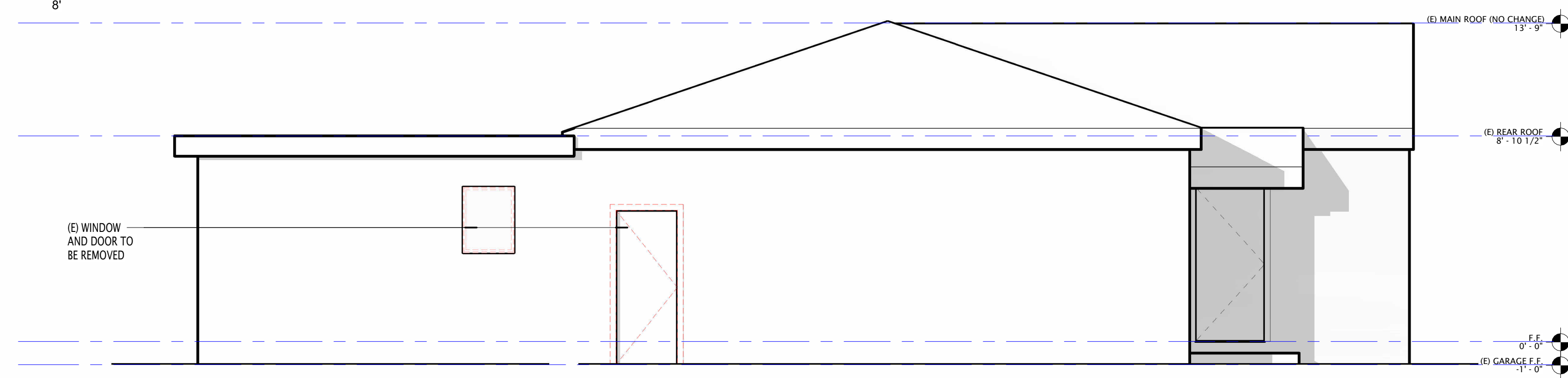
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Scale As indicated

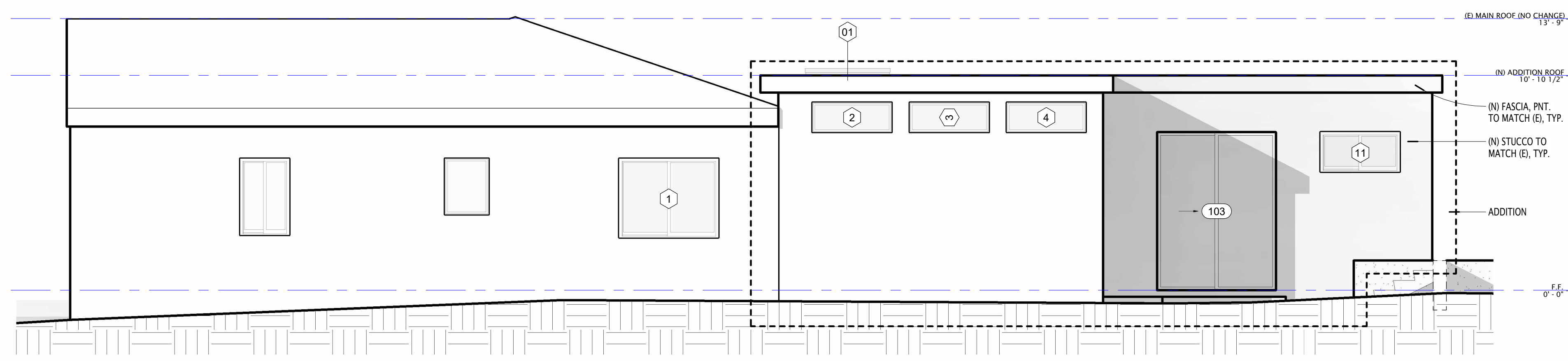
GENERAL NOTES:
 1. STUCCO TO BE THREE COATS MINIMUM WHEN APPLIED OVER METAL LATH WITH 2 LAYERS OF GRADE D PAPER PER CRC R703.7.2 & R703.7.3.
 2. WEEP SCREED TO BE INSTALLED AT THE BASE OF THE STUCCO SIDING. WEEP SCREED SHALL BE A MINIMUM OF 2 INCHES ABOVE CONCRETE SLABS AND 4 INCHES ABOVE EXPOSED EARTH PER CRC R703.6.2.1.



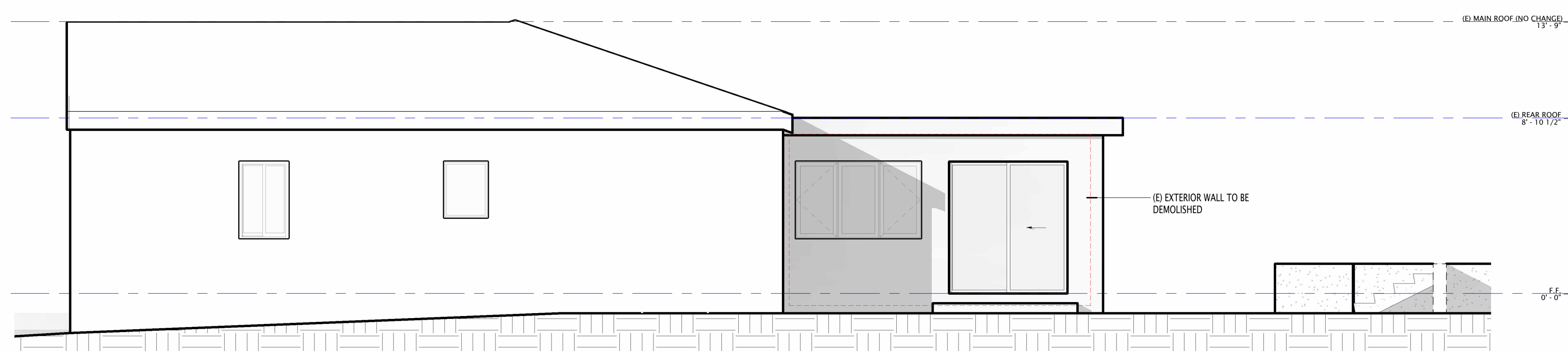
4 PROPOSED SOUTH ELEVATION
 1/4" = 1'-0"



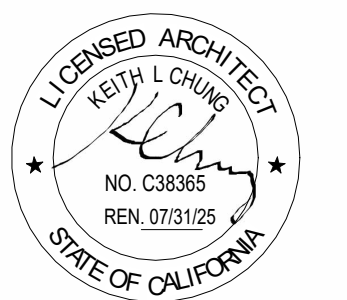
3 EXISTING SOUTH ELEVATION
 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
 1/4" = 1'-0"



1 EXISTING NORTH ELEVATION
 1/4" = 1'-0"



No.	Description	Date
1	Revision 1	03/13/2023

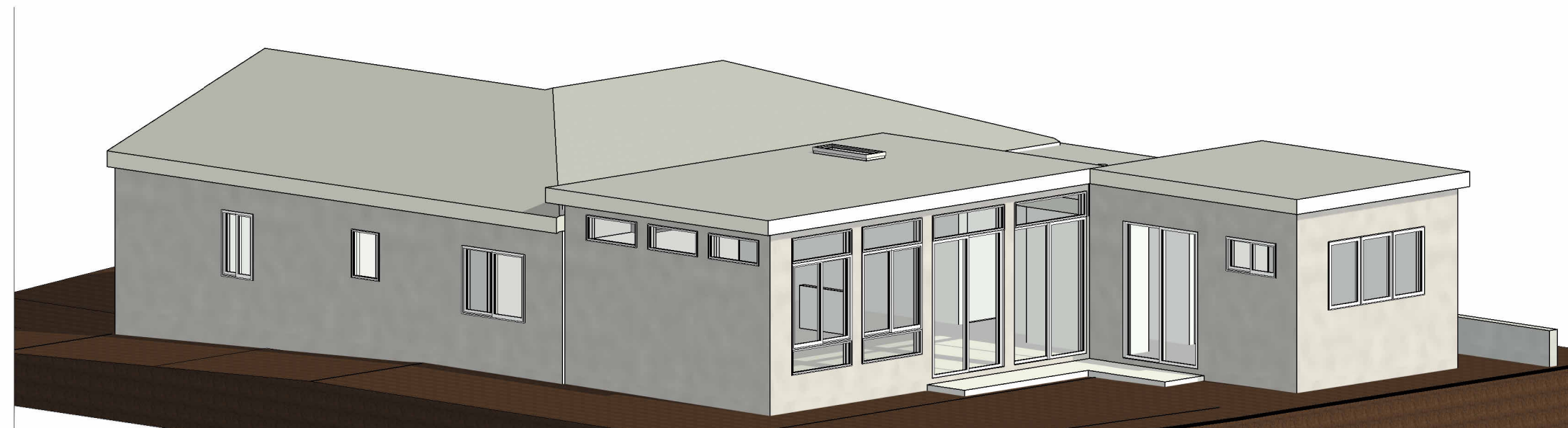
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(E) & (P) ELEVATIONS

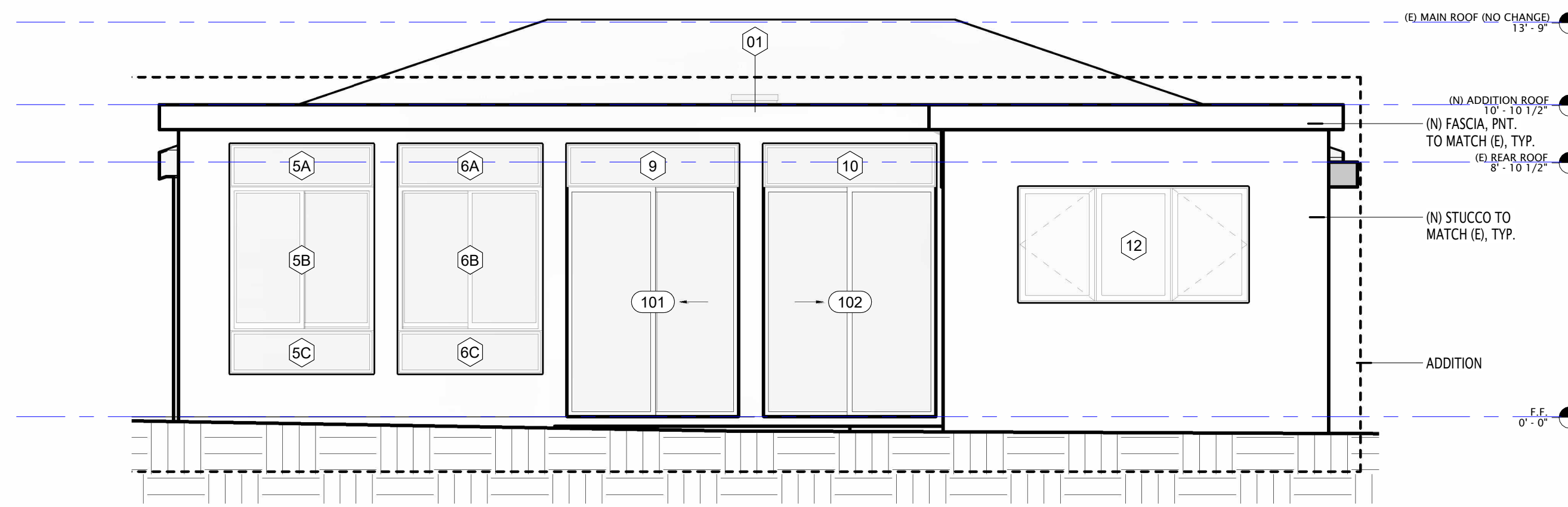
Project number 2407
 Date 7/26/2024
 Drawn by AM
 Checked by KC

A3.0

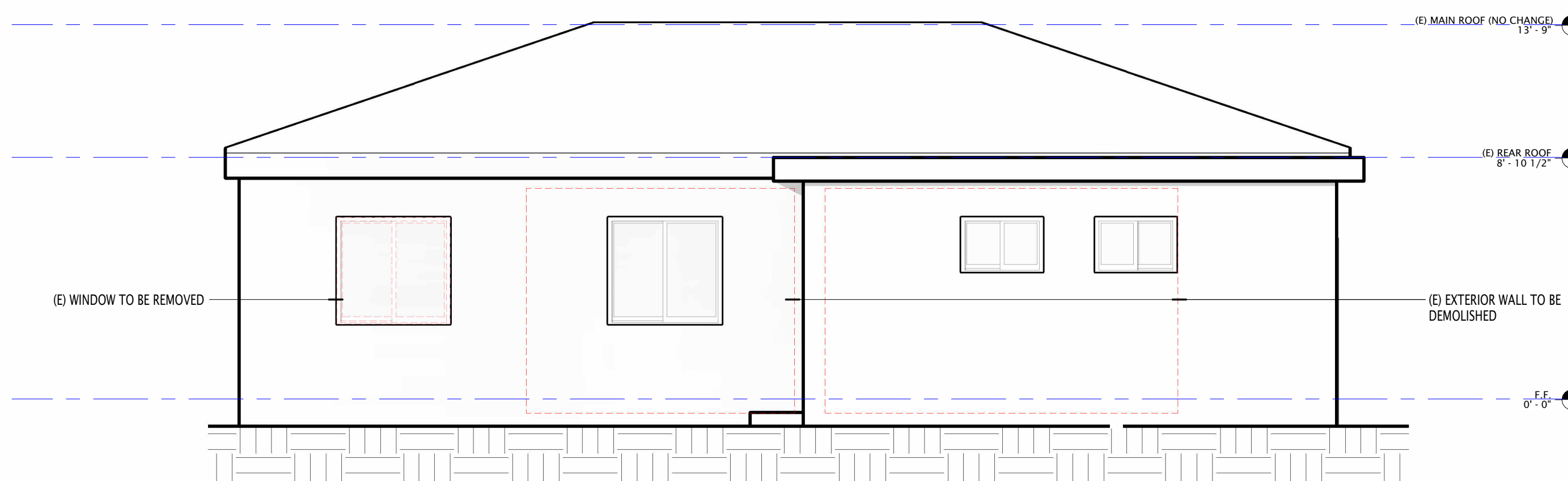
Scale 1/4" = 1'-0"



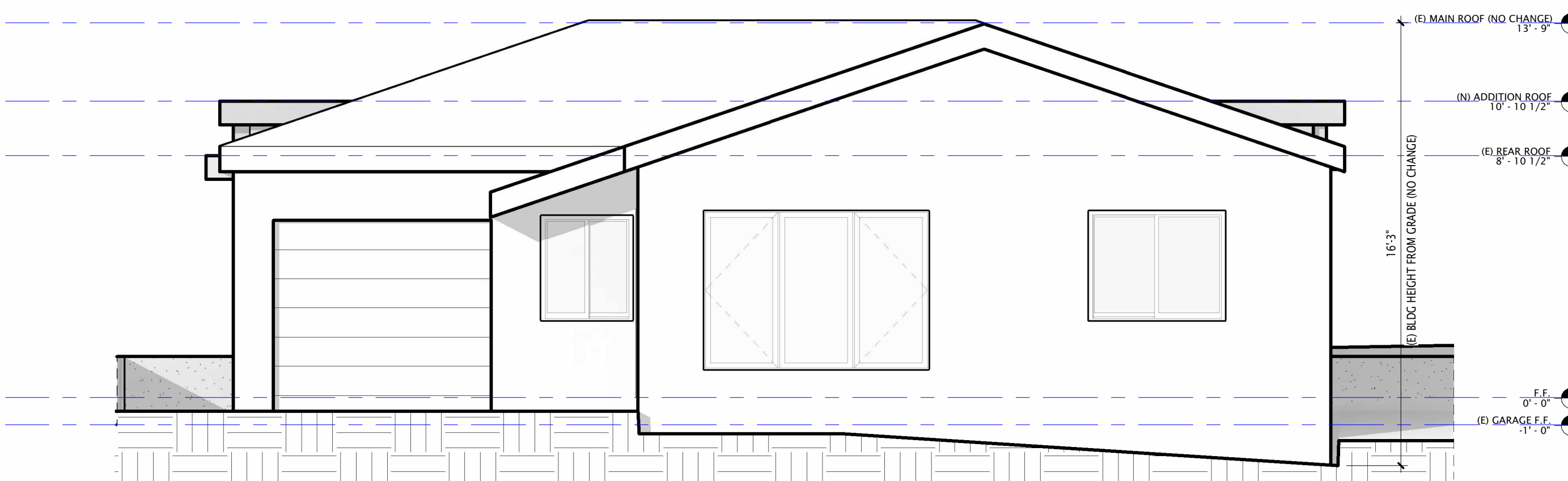
5 SCHEMATIC 3D MODEL, SOUTH-EAST VIEW
N.T.S.



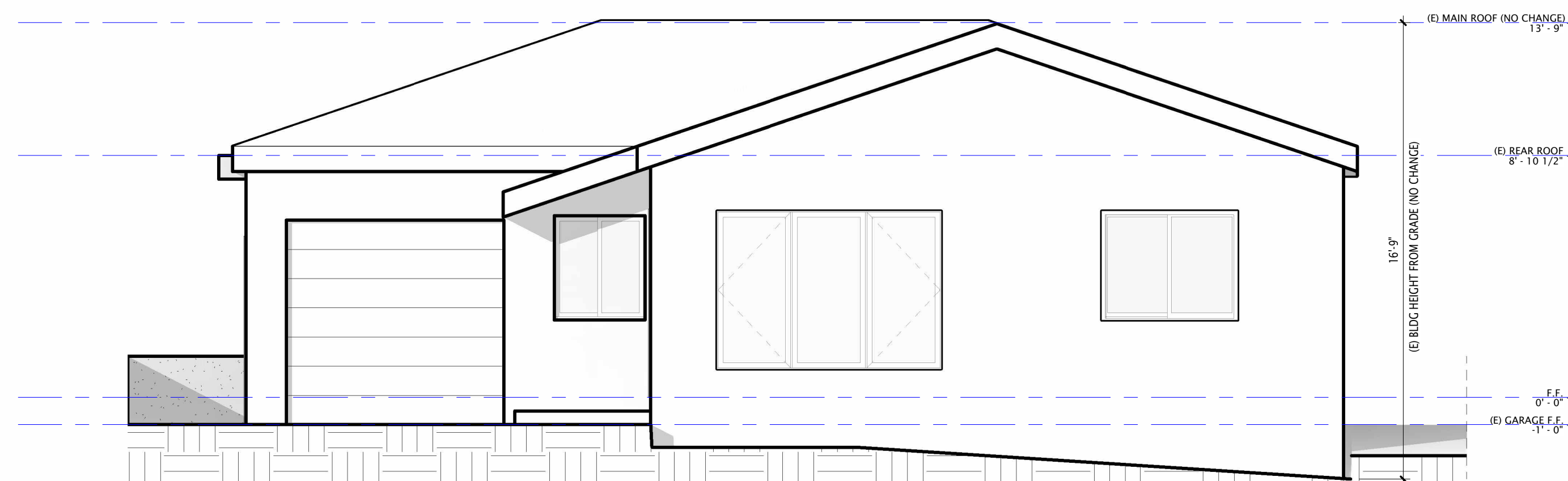
4 PROPOSED WEST ELEVATION
1/4" = 1'-0"



3 EXISTING WEST ELEVATION
1/4" = 1'-0"

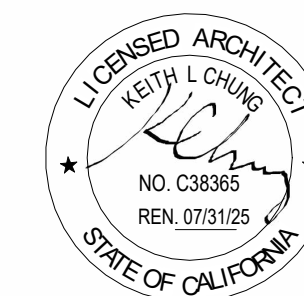


2 PROPOSED EAST ELEVATION
1/4" = 1'-0"



1 EXISTING EAST ELEVATION
1/4" = 1'-0"

GENERAL NOTES:
1. STUCCO TO BE THREE COATS MINIMUM WHEN APPLIED OVER METAL LATH WITH 2 LAYERS OF GRADE D PAPER PER CRC R703.7.2 & R703.7.3.
2. WEEP SCREED TO BE INSTALLED AT THE BASE OF THE STUCCO SIDING. WEEP SCREED SHALL BE A MINIMUM OF 2 INCHES ABOVE CONCRETE SLABS AND 4 INCHES ABOVE EXPOSED EARTH PER CRC R703.6.2.1.



No.	Description	Date
1	Revision 1	03/13/2023

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(E) & (P) ELEVATIONS

Project number	2407
Date	7/26/2024
Drawn by	AM
Checked by	KC

A3.1

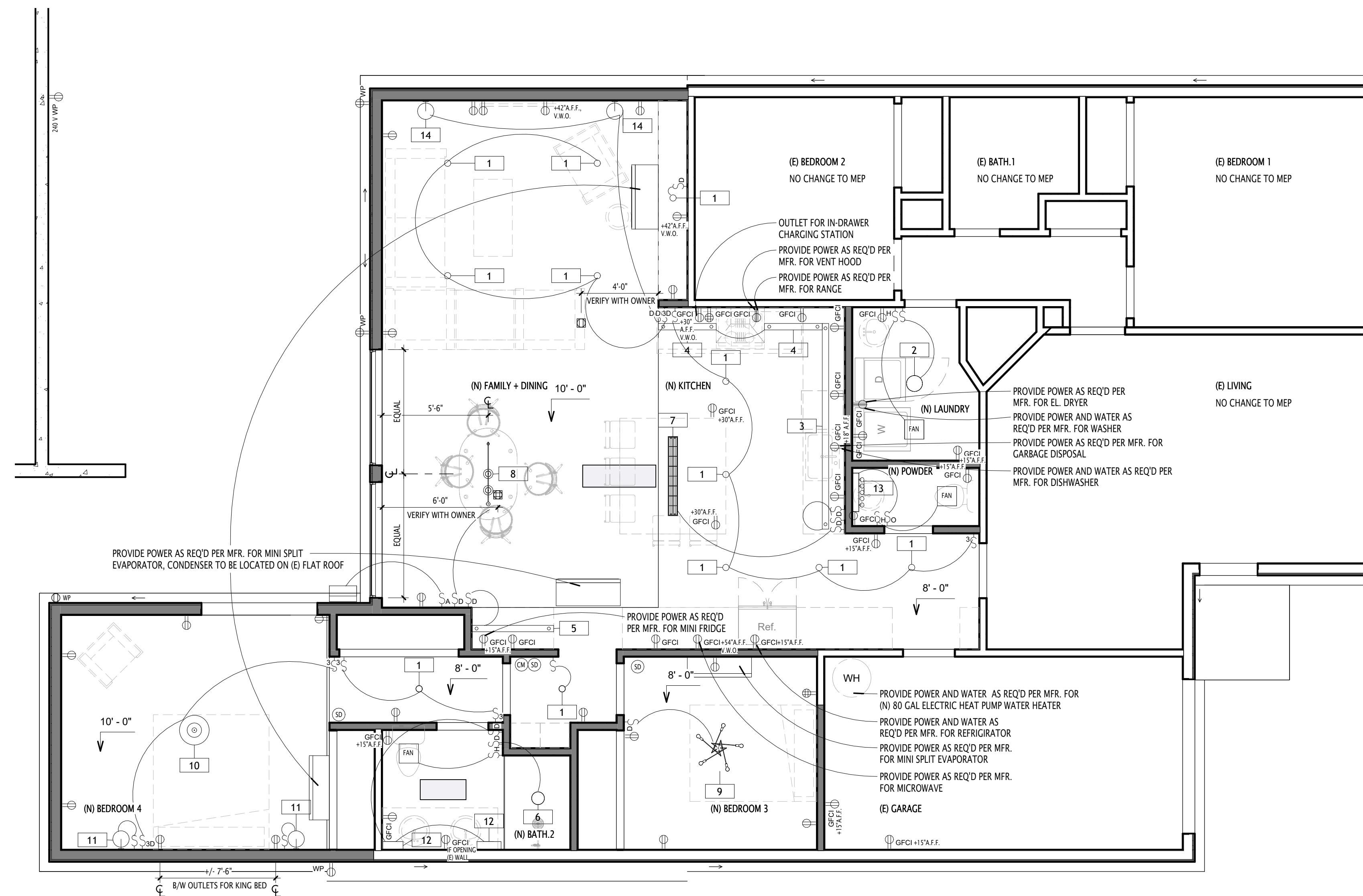
Scale 1/4" = 1'-0"

LUMINAIRE SCHEDULE			
Type Mark	Count	Description	Location
1	12	RECESSED LUMINAIRE 4"	KITCHEN, LIVING ROOM
2	1	FLUSH MOUNT LUMINAIRE	LAUNDRY
3	1	UNDERCABINET LINEAR LIGHT	KITCHEN
4	2	UNDERCABINET LINEAR LIGHT	KITCHEN
5	1	UNDERCABINET LINEAR LIGHT	KITCHEN
6	1	WET LOCATION RECESSED LUMINAIRE	BATH 2
7	1	LINEAR PENDANT LUMINAIRE	KITCHEN
8	1	PENDANT LUMINAIRE	DINING
9	1	FLUSH MOUNT LUMINAIRE	BEDROOM 3
10	1	FLUSH MOUNT LUMINAIRE	BEDROOM 4
11	2	DECORATIVE WALL SCONCE	BEDROOM 4
12	2	VANITY LUMINAIRE	BATH 2
13	1	VANITY LUMINAIRE	POWDER
14	2	DECORATIVE WALL SCONCE	LIVING ROOM

- GENERAL MEP NOTES:
- THE NEW FURANCE AND THERMOSTAT MUST MEET MIN EFFICIENCY REQUIREMENTS. ALL NEW DUCTS MUST MEET INSULATION AND CONSTRUCTION REQUIREMENTS. ALL NEW DUCTS MUST BE SEALED AND HERS-VERIFIED.
 - SCREW BASED LUMINAIRES SHALL HAVE LAMPS INSTALLED MARKED WITH "JA8-2016" OR "JA8-2016-E".
 - ALL LUMINAIRE IN ALL BATHROOMS ARE CONTROLLED BY VACANCY SENSORS.
 - NEWLY INSTALLED RECESSED DOWNLIGHT LUMINAIRES SHALL NOT CONTAIN SCREW BASED SOCKETS.
 - NEW LED OUTDOOR LIGHTING, HIGH EFFICACY AND IS CONTROLLED BY A MOTION SENSOR AND EITHER A PHOTO CELL CONTROL, ASTRONOMICAL TIME CLOCK OR EMCS, PLUS A MANUAL ON/OFF SWITCH THAT DOES NOT OVERRIDE THE AUTOMATIC CONTROLS.
 - NEW EXHAUST FANS FOR BATHROOMS MUST BE CONTROLLED BY HUMIDISTAT AND SEPARATE FROM LIGHT SWITCH. EXHAUST FAN SHOULD HAVE 54CFM FAN MINIMUM, TYP.
 - SEPARATE 20 AMPS BRANCH CIRCUIT FOR BATHROOM.
 - ALL 120 VOLT 15-20 AMP CIRCUITS SHOULD BE TAMPER RESISTANT EXCEPT WHEN LOCATED MORE THAN 76 INCHES ABOVE THE FLOOR ETC.
 - NON-ABSORBENT SURFACE TO EXTEND NOT LESS THAN 72 INCHES ABOVE FLOOR IN THE SHOWER
 - NO CHANGES TO MEP IN AREAS OUTSIDE OF REMODEL AND ADDITION.

- GENERAL MEP NOTES CONTINUED:
- SMOKE ALARMS ARE REQUIRED IN EVERY BEDROOM, AREA LEADING TO THESE BEDROOMS, AND ON EVERY FLOOR. CRC R314.3
 - A CARBON MONOXIDE ALARM IS REQUIRED IN ALL AREAS LEADING INTO THE BEDROOM AND ON EVERY FLOOR. CRC R315.3
 - WHERE NEW CONSTRUCTION OR ELECTRICAL WORK OCCURS, THE SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED AND HARDWIRED AND PROVIDED WITH BATTERY BACKUP PER CRC R314.4, R314.6, R315.5, AND R315.6.
 - CONTROLS FOR THE SHOWERHEAD SHALL BE LOCATED ON THE SIDEWALL OF THE SHOWER COMPARTMENT SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES BEFORE STEPPING INTO THE SHOWER SPRAY PER CPC 408.9.
 - WATER CLOSET TO BE 1.28 GALLONS PER FLUSH MAXIMUM OR DUAL FLUSH PER CPC 411.2.
 - KITCHEN FAUCET TO BE 1.8 GALLONS PER MINUTE, MAXIMUM, PER CPC 420.2.1 & 420.2.2.
 - RESIDENTIAL LAVATORY FAUCET TO BE 1.2 GALLONS PER MINUTE, MAXIMUM. CPC 407.2.2.
 - SHOWERHEADS TO BE 1.8 GALLONS PER MINUTE, MAXIMUM, PER CPC 408.2.
 - NON-COMPLIANT PLUMBING FIXTURES THAT ARE NOT PART OF THE SCOPE OF WORK ARE REQUIRED TO COMPLY WITH WATER-CONSERVING CODE SECTIONS IN ACCORDANCE WITH CIVIL CODE SECTION 1101.1.

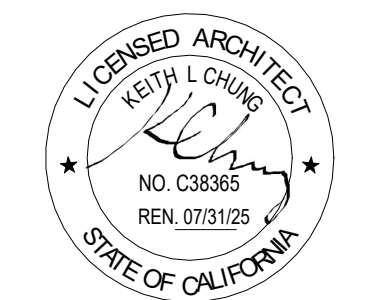
- GENERAL MEP NOTES CONTINUED:
- FOR THE BATHROOM, RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A DEDICATED 20 AMP BRANCH CIRCUIT PER CEC 210.11(C)(3). THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION - WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE ALLOWED).
 - FOR THE KITCHEN, A MINIMUM OF TWO 20-AMP DEDICATED CIRCUITS SHALL BE PROVIDED FOR SMALL APPLIANCES. CEC 210.52(C)(3).
 - FOR RECEPTACLES, LOCATED OUTDOORS, SHALL BE GFCI PROTECTED AND WEATHERPROOF PER CEC 210.8 AND 406.9(B).
 - ALL 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. CEC 210.12.
 - ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.12.
 - ALL SWITCHES TO BE INSTALLED 40" A.F.F.
 - ALL NON GFCI OUTLETS TO BE INSTALLED 15" A.F.F. U.O.N.
 - ALL GFCI OUTLETS TO BE INSTALLED 42" A.F.F. U.O.N.
 - ALL EXTERIOR WP OUTLETS TO BE INSTALLED 18" ABOVE GRADE U.O.N.



1 PROPOSED REFLECTED CEILING PLAN
1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND

- NEW WALL DUPLEX RECEPTACLE
- NEW WALL GFCI RECEPTACLE
- NEW WALL MOUNTED WATERPROOF DUPLEX RECEPTACLE
- NEW WALL MOUNTED QUADRUPLEX RECEPTACLE
- NEW FLOOR MOUNTED DUPLEX RECEPTACLE
- NEW FLOOR MOUNTED QUADRUPLEX RECEPTACLE
- NEW EAVE MOUNTED DUPLEX RECEPTACLE
- SMOKE DETECTOR (LOCATION AND TYPE AS REQUIRED BY CODE, COORD. W/ OWNER)
- COMBO SMOKE & CARBON MONOXIDE DETECTORS (LOCATION AND TYPE AS REQUIRED BY CODE, COORD. W/ OWNER)
- NEW SINGLE POLE SWITCH
- NEW DIMMER SWITCH
- NEW 3 WAY DIMMER SWITCH
- NEW 3 WAY SWITCH
- NEW ASTRONOMICAL SWITCH
- NEW OCCUPANCY SWITCH
- NEW HUMIDITY SWITCH



No.	Description	Date

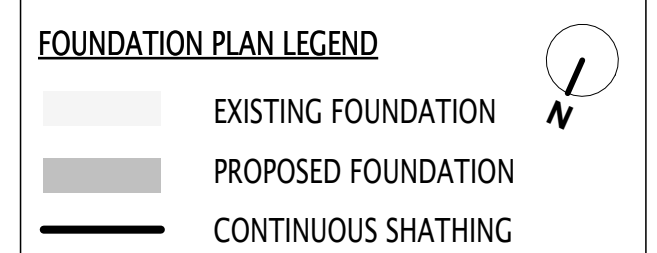
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ELECTRICAL PLAN

Project number	2407
Date	7/26/2024
Drawn by	Author
Checked by	Checker

MEP-1

Scale As indicated



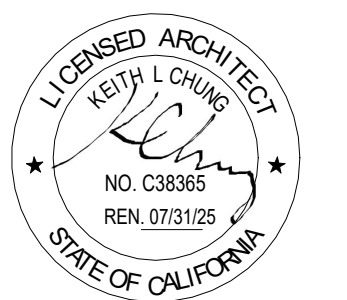
STRUCTURAL NOTES

- FIELD VERIFY ALL EXISTING DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. ANY SIGNIFICANT DISCREPANCIES, STOP CONSTRUCTION & NOTIFY ARCHITECT.
- BRACED WALL PLYWOOD SHEATHING - 1 5/32" STRUCTURAL 1 SHEATHING EXP 1 WITH 32/16 SPAN RATING, APA RATED PLYWOOD OR OSB STRUCTURAL 1 (5-PLY); USE 8D COMMON NAILS: 2.5" X 0.131"; 48/24 SPAN RATING W/ EXPOSURE 1 GLUE; EDGE NAIL @ 6" O.C./FIELD NAIL @ 12" O.C. UNLOCKED @ INTERMEDIATE PANEL EDGES U.O.N. ON PLANS
- PROVIDE 2x SOLID BLOCKING BELOW ALL BEARING WALLS PERPENDICULAR TO JOISTS.
- PROVIDE DBL. JOISTS BELOW ALL BEARING WALLS PARALLEL TO JOISTS.
- PROVIDE PLYWOOD WALLS SHEATHING AT ALL NEW WALLS.
- ALL METAL ANCHORS, FASTENERS, CONNECTORS, ETC. THAT WILL BE IN CONTACT WITH PRESSURE TREATED LUMBER (OR EXPOSED TO WEATHER CONDITIONS SHALL BE HOT-DIPPED GALVANIZED, SILICONE BRONZE, STAINLESS STEEL OR COPPER.
- PROVIDE 3"x3"x0.229" MINIMUM PLATE WASHER AT ALL NEW ANCHOR BOLTS AT BRACED WALL LINES (FOR THE COMPLETE LENGTH OF THE BRACED WALL LINE).

FOUNDATION LOAD BEARING PRESSURE = 1,500 PSF (CRC 401.4.1)

CONCRETE FOUNDATION SLAB WITH PERIMETER FOOTER = 3,000 PSI MIN (CRC 402.2)

THE VERTICAL BAR AT THE FOOTER SHALL HAVE A STANDARD HOOK AND EXTEND TO THE BOTTOM OF THE FOOTER. STANDARD HOOKS AND A MINIMUM OF ONE NO. 5 HORIZONTAL BAR SHALL BE INSTALLED WITHIN 12 INCHES (305 MM) OF THE TOP OF THE FOOTER AND ONE NO. 5 HORIZONTAL BAR SHALL BE LOCATED 3 TO 4 INCHES FROM THE BOTTOM OF THE FOOTER.



No.	Description	Date

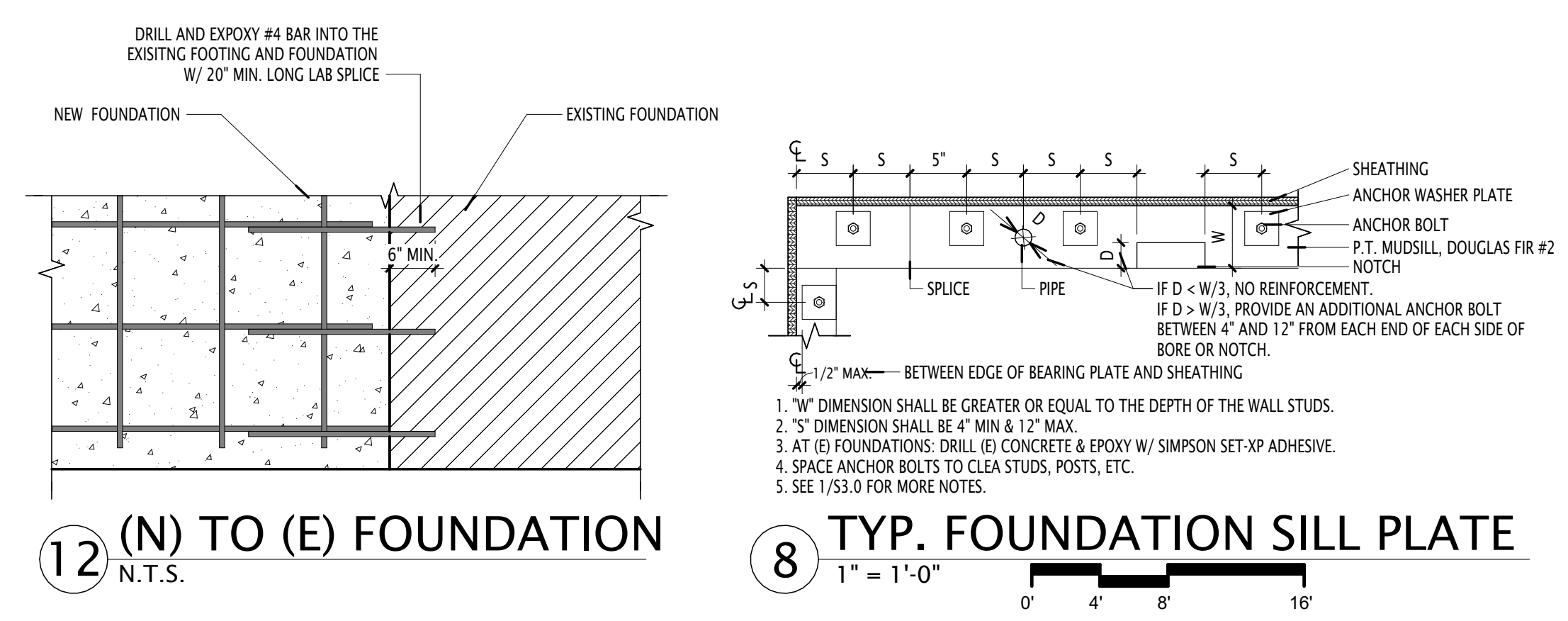
PREPARED BY:
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FOUNDATION PLAN

Project number: 2407
Date: 7/26/2024
Drawn by: KC
Checked by: AM

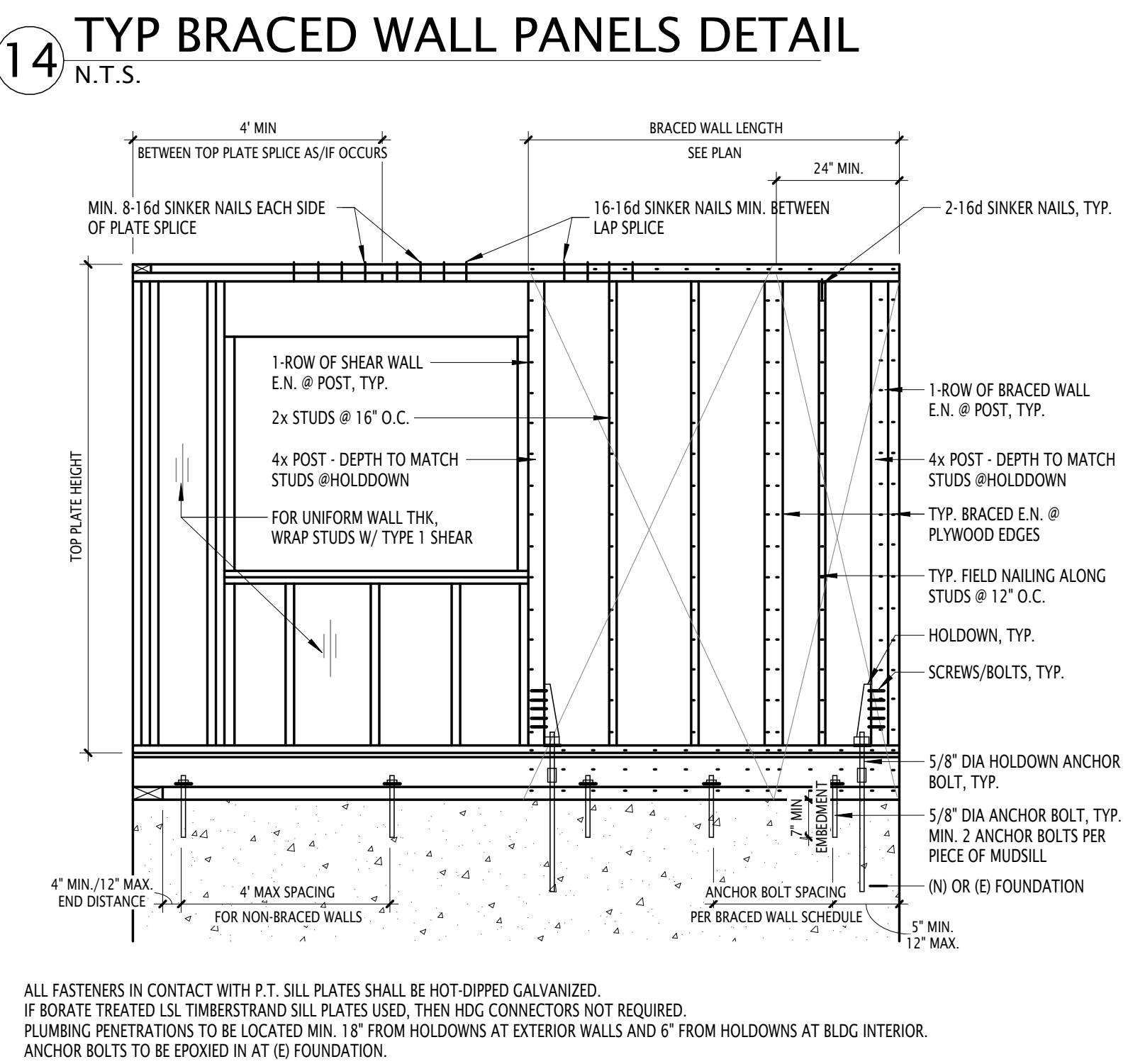
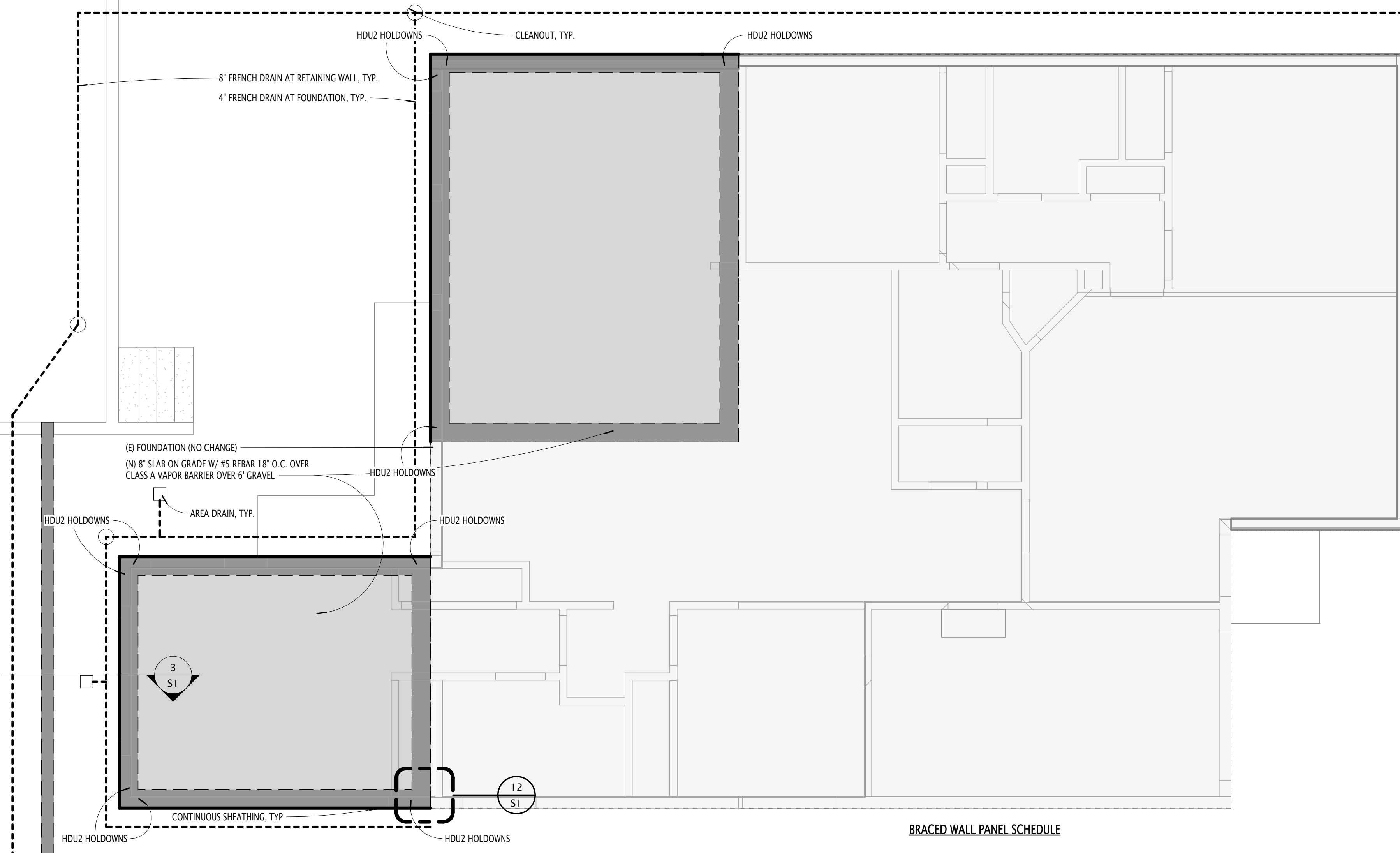
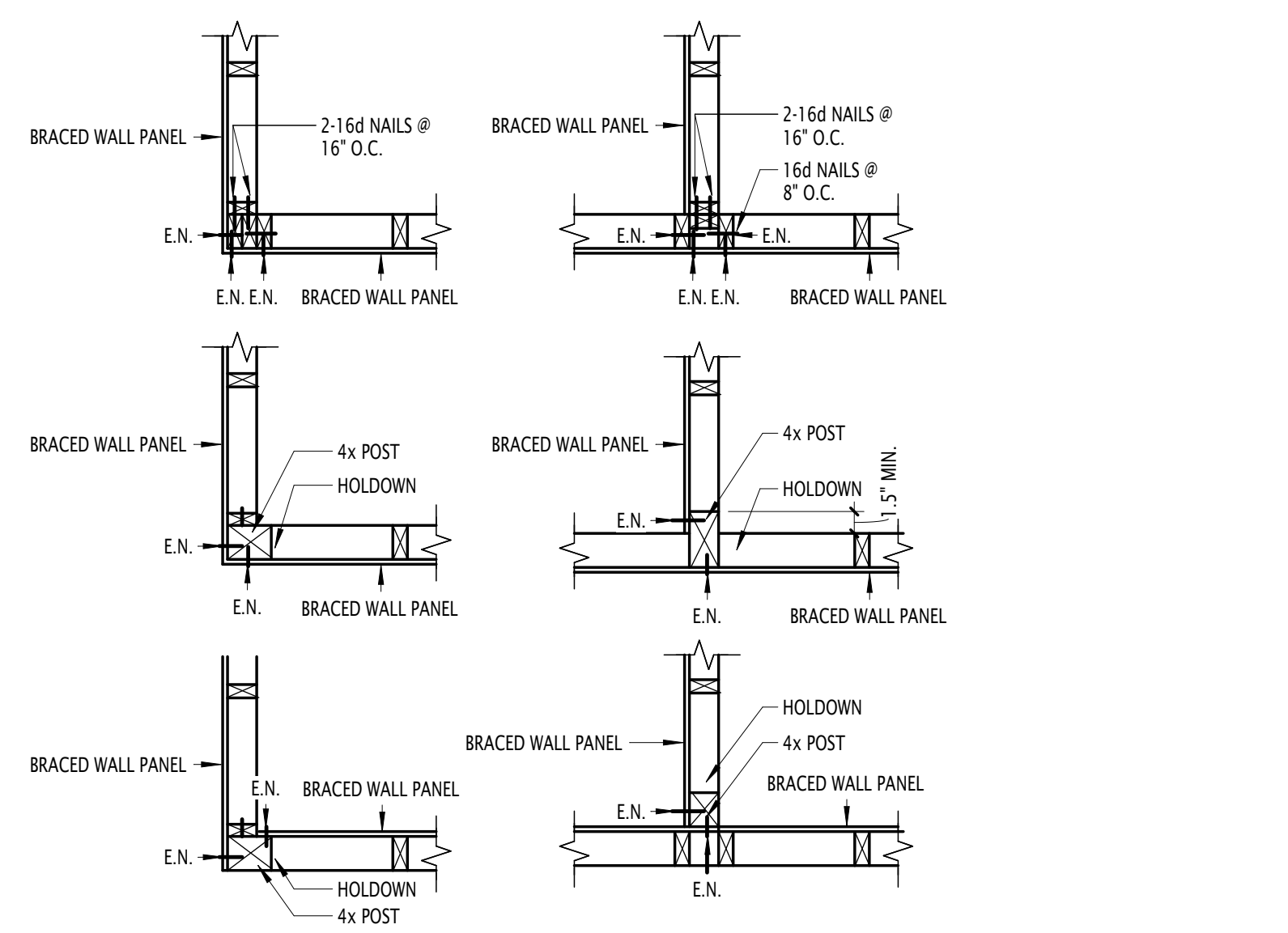
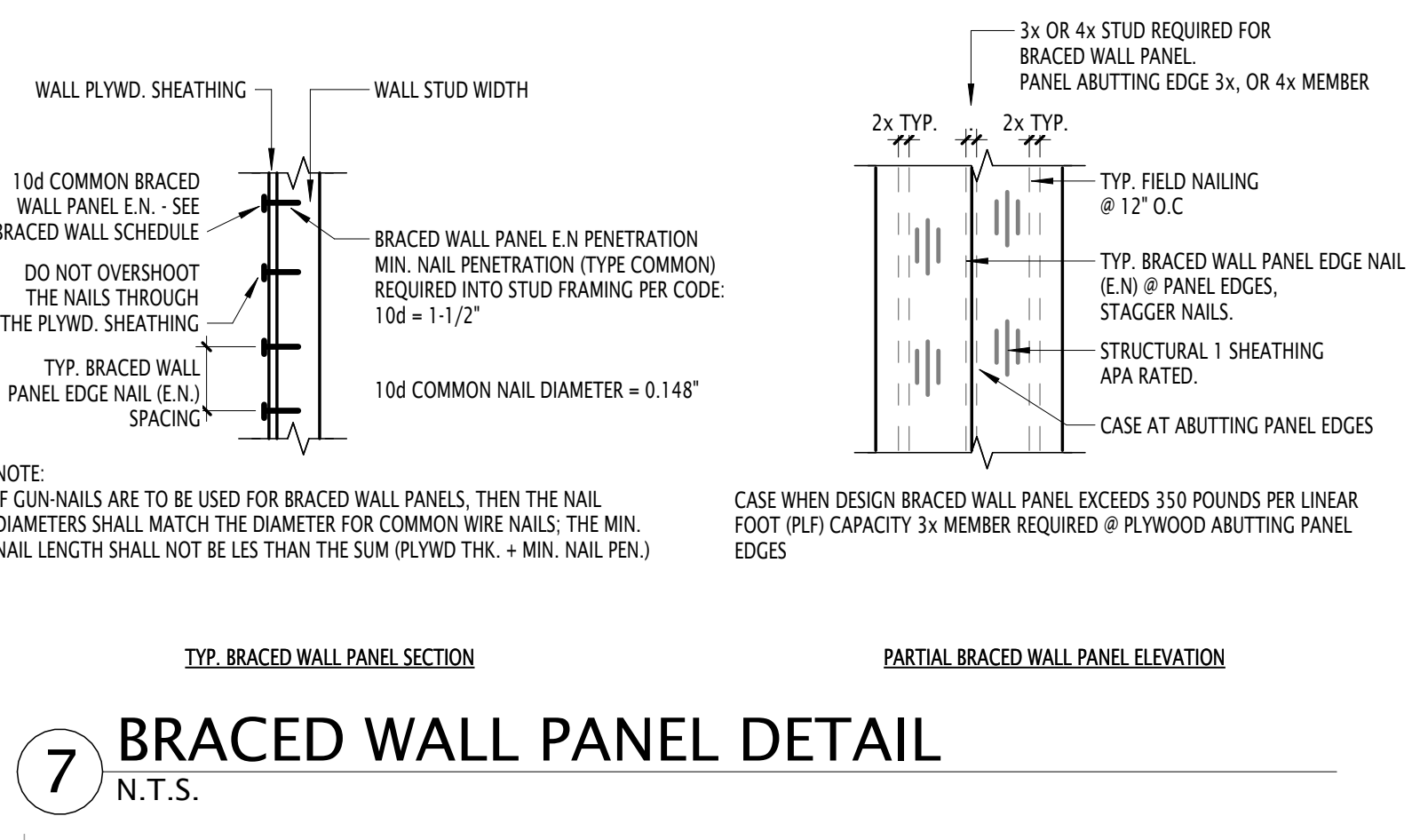
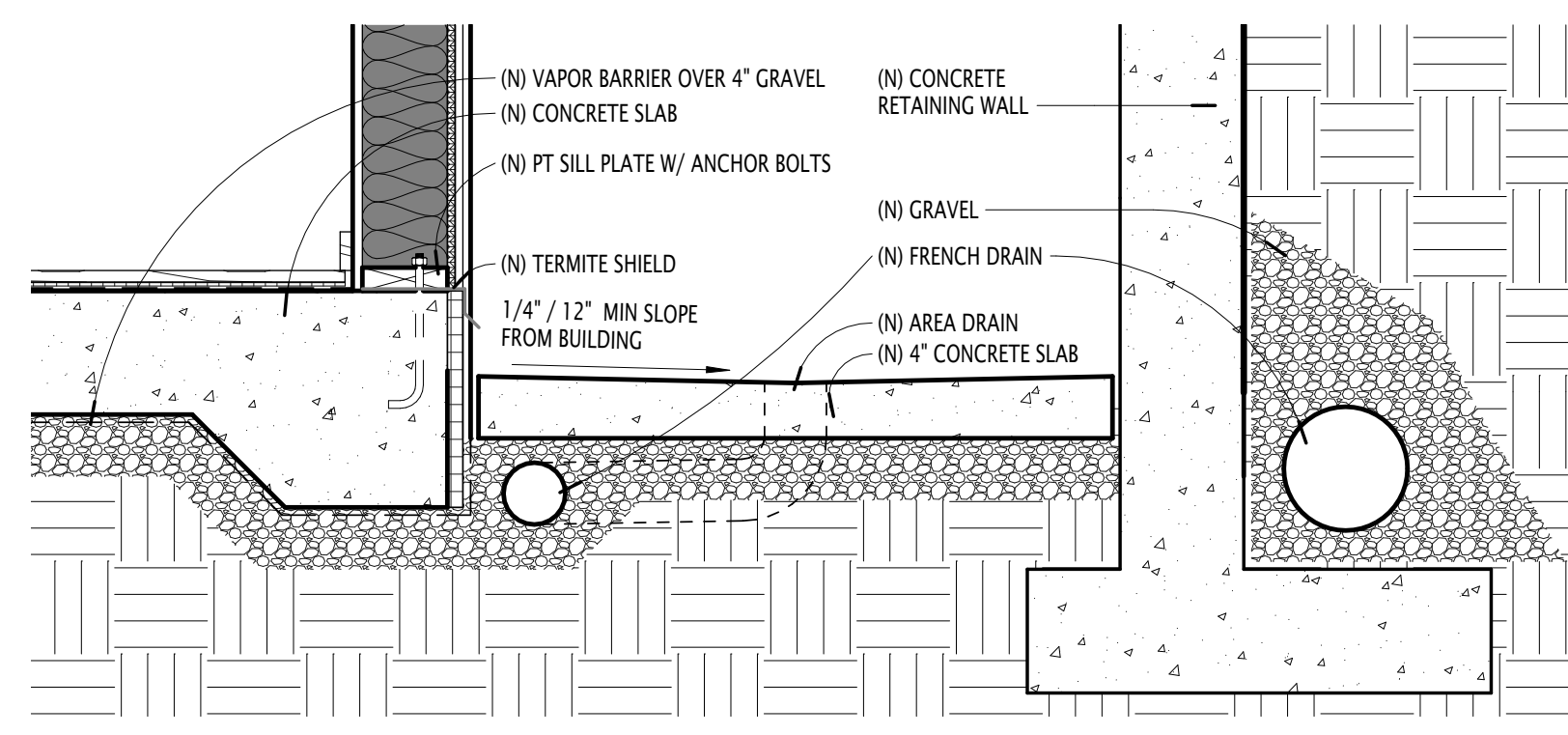
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Scale: As indicated



4 STD REINF. BENDS
N.T.S.

REBAR SIZE	d	D	J
#3	3/8"	2 1/4"	3"
#4	1/2"	3"	4"
#5	5/8"	3 3/4"	5"
#6	3/4"	4 1/2"	6"
#7	7/8"	5 1/4"	7"
#8	1"	6"	8"



BRACED WALL PANEL SCHEDULE

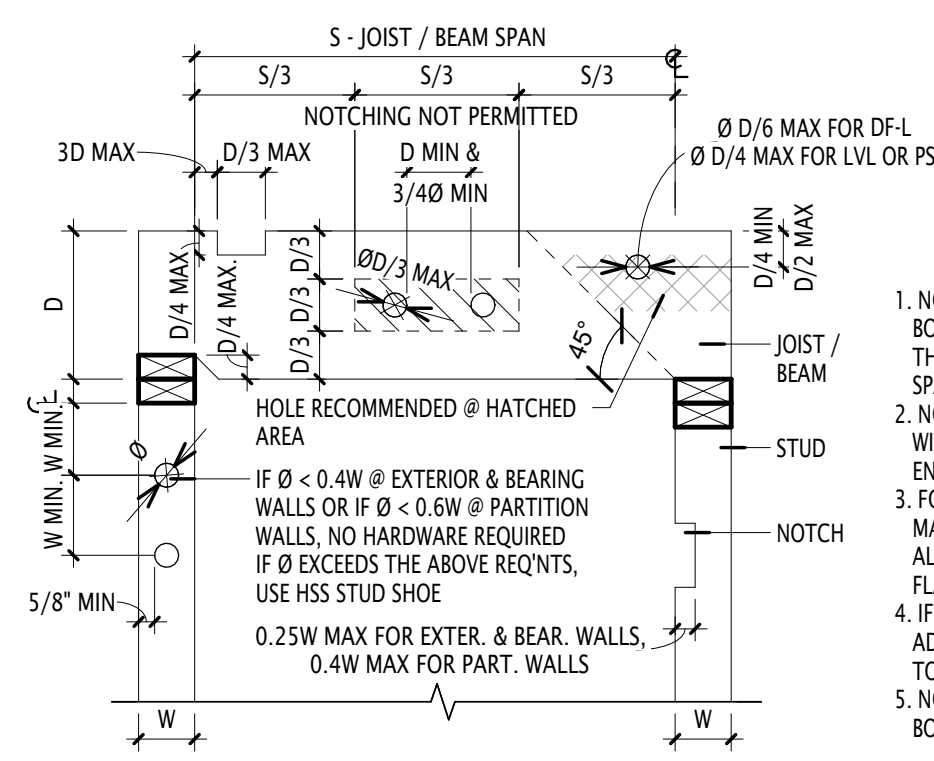
BRACED W.P. TYPE	STRUCTURAL 1 SHEATHING	EDGE NAILING	JOISTS OR BLOCKS TO TOP PLATE	SOLE PLATE TO JOISTS OR BLK	SILL BOLTS TO CONCRETE	NOMINAL UNIT SHEAR	ALLOWABLE UNIT SHEAR
#1	APA STRUCT 1 - 15/32"	10d @ 6" O.C.	SIMPSON ANCHOR A35 @ 16" O.C.	16d COMMON NAILS @ 8" O.C.	5/8" x 12" @ 4'-0" O.C. 2x SILL PLATE	620 LB/FT	310 LB/FT

ALL FASTENERS IN CONTACT WITH P.T. SILL PLATES SHALL BE HOT-DIPPED GALVANIZED.
IF BORATE TREATED LSL/TIMBERSTRAND SILL PLATES USED, THEN HDG CONNECTORS NOT REQUIRED.
PLUMBING PENETRATIONS TO BE LOCATED MIN. 18" FROM HOLD-DOWNS AT EXTERIOR WALLS AND 6" FROM HOLD-DOWNS AT BLDG INTERIOR.
ANCHOR BOLTS TO BE EPOXYED IN AT (E) FOUNDATION.

STRUCTURAL NOTES

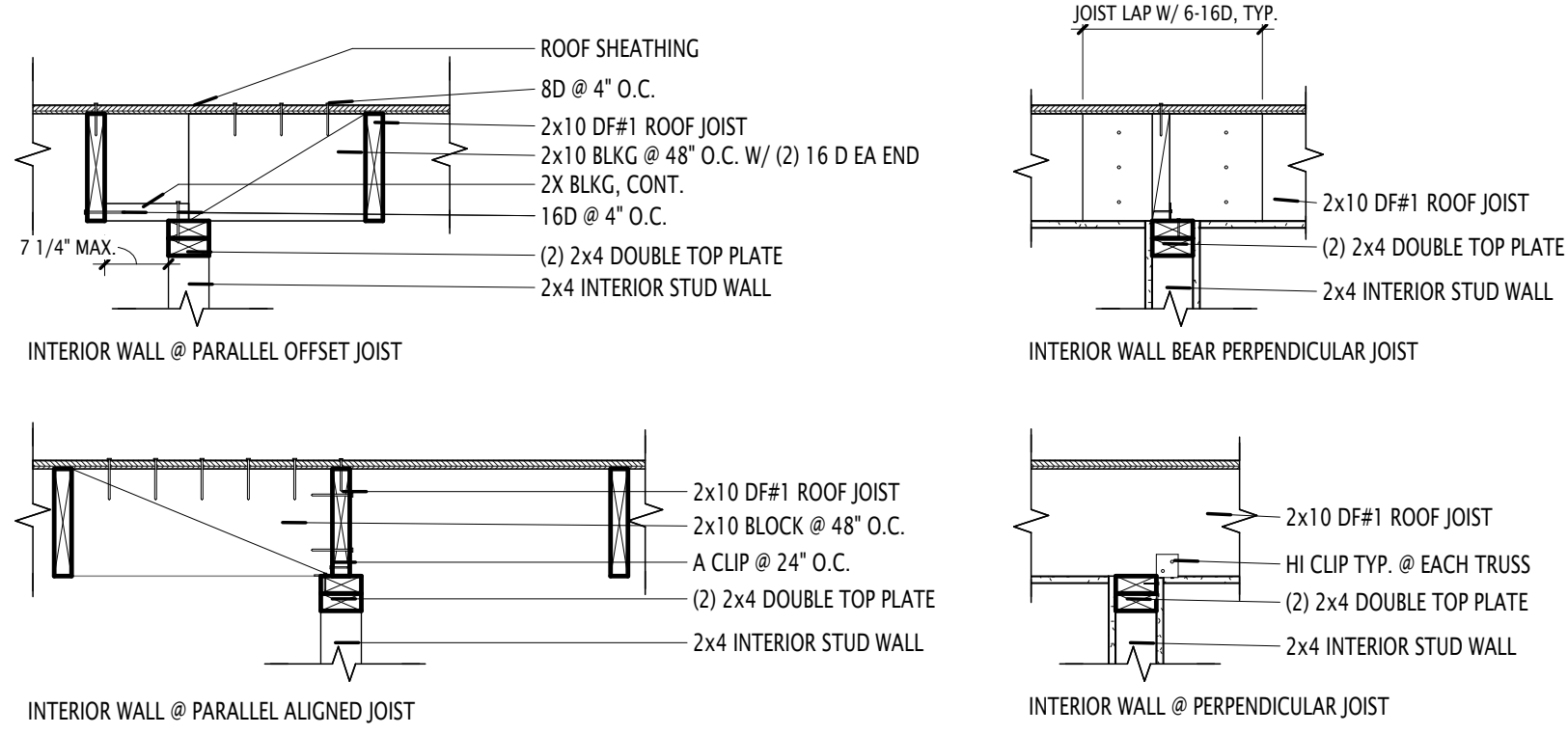
- ROOF PLYWOOD SHEATHING - 1/2" STRUCTURAL 1 SHEATHING EXP 1 WITH 3/2" SPAN RATING, APA RATED PLYWOOD OR OSB STRUCTURAL 1, USE 8D COMMON NAILS: 2.5" X 0.131"; EDGE NAIL @ 6" O.C./FIELD NAIL @ 12" O.C.; UNBLOCKED @ INTERMEDIATE PANEL EDGES U.O.N. ON PLANS
- FIELD VERIFY ALL EXISTING DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION, ANY SIGNIFICANT DISCREPANCIES STOP CONSTRUCTION & NOTIFY ARCHITECT IN WRITING.
- ALL METAL ANCHORS, FASTENERS, CONNECTORS, ETC. THAT WILL BE IN CONTACT WITH PRESSURE TREATED LUMBER (OR EXPOSED TO WEATHER CONDITIONS SHALL BE HOT-DIPPED GALVANIZED, SILICONE BRONZE, STAINLESS STEEL OR COPPER.
- PROVIDE A STRAP WHERE NEW AND EXISTING WALL TOP PLATES ABUT PER 11/ & 12/S3.2.

ROOF
HIGH ROOF RAFTER SPANS - (CEILING ATTACHED TO RAFTERS, ROOF LIVE LOAD & DEAD LOAD = 20 PSF, L/Δ = 240):
2 X 10 DF#1 & BTR ROOF JOIST @ 24" O.C = 16'-9" MAX > 16'-0" ACTUAL = OK (CRC 802.5.1(2))

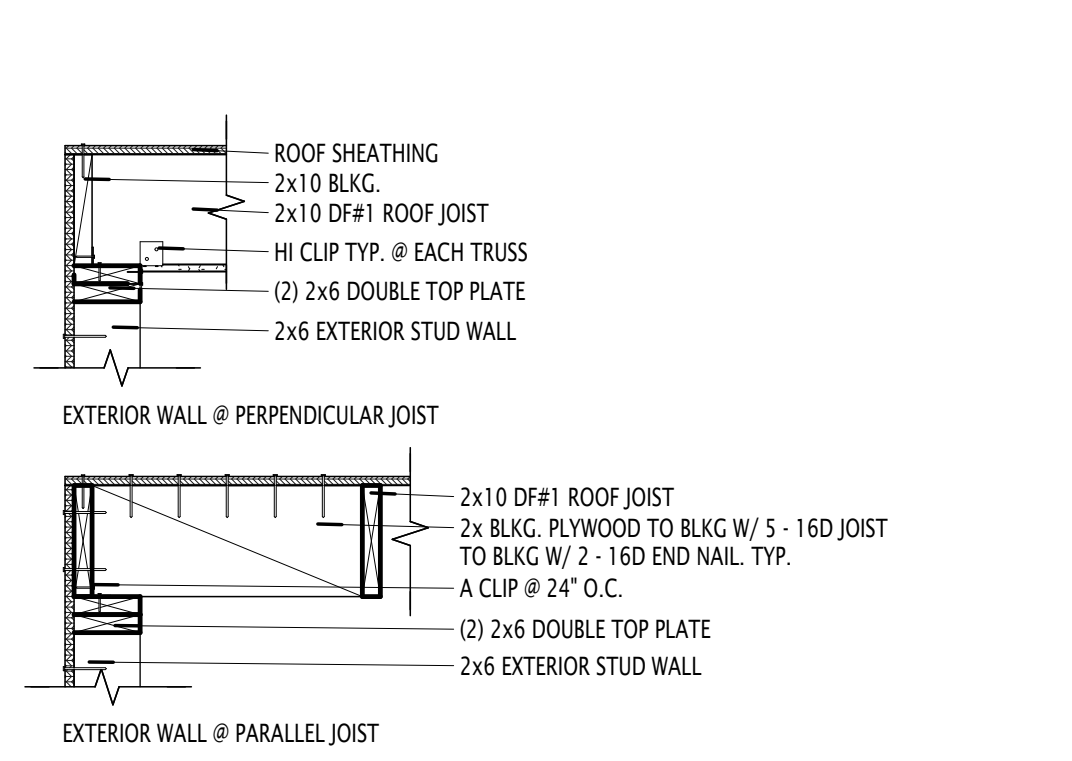


- NO NOTCHING IS PERMITTED ON THE BOTTOM OF THE BEAM, NOR ON THE TOP OF THE BEAM AT INTERIOR SUPPORT OF MULTI-SPAN BEAM.
- NO HOLES OR NOTCHES IN GLULAM BEAMS WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- FOR FABRICATED FLOOR JOISTS, SEE MANUFACTURER'S INSTRUCTIONS FOR ALLOWABLE HOLES IN WEBS. DO NOT CUT FLANGES.
- IF CONDITIONS ARE NOT MET ON STUDS, ADD NEW STUD NEXT TO (E) STUD AND NAIL TOGETHER WITH 16d @ 6" o.c.
- NO HOLES PERMITTED WITHIN 2" FROM BOTTOM OF JOISTS OR BEAMS.

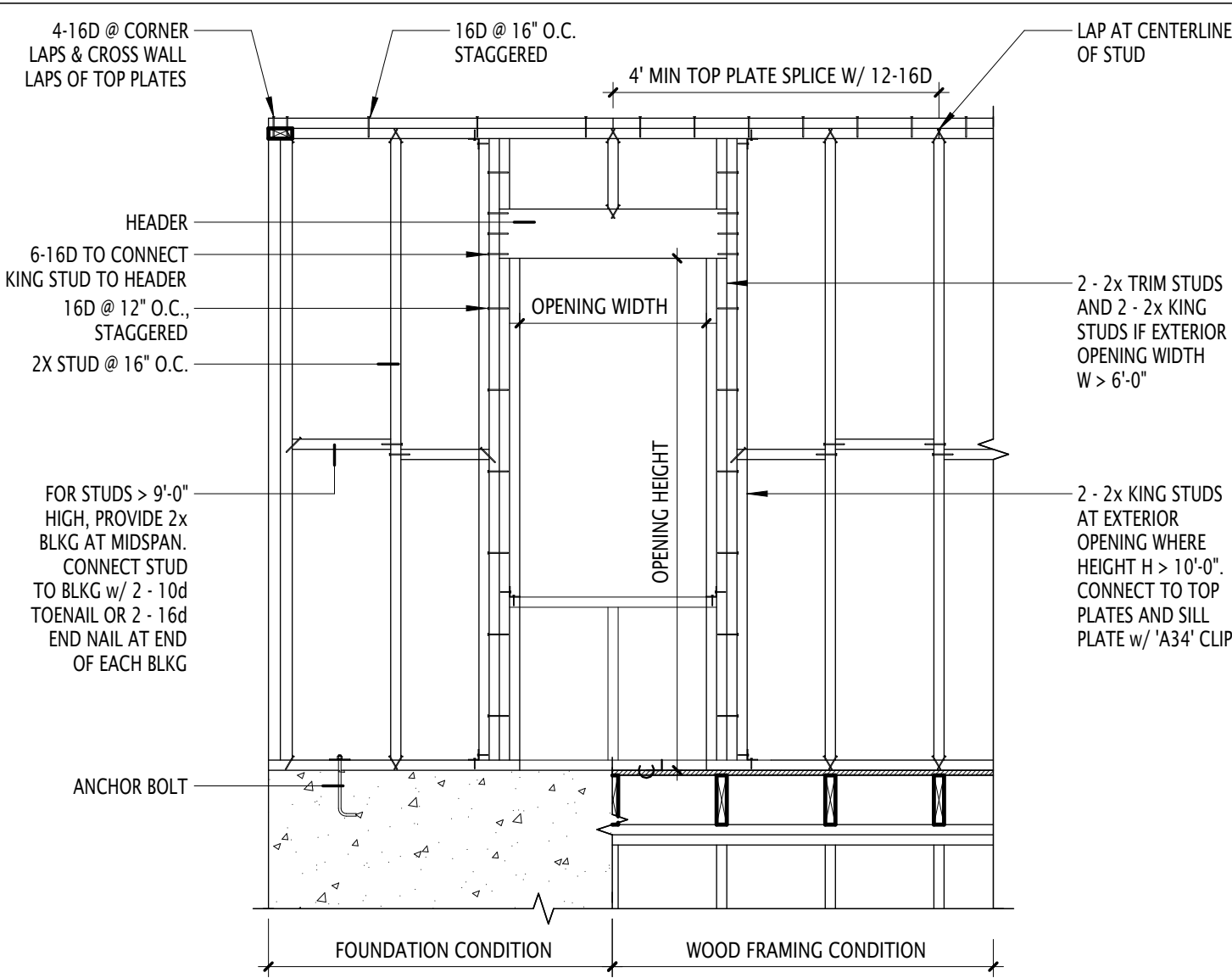
18 DRIL'G & NOTCH'G @ JOISTS & STUDS
1" = 1'-0"



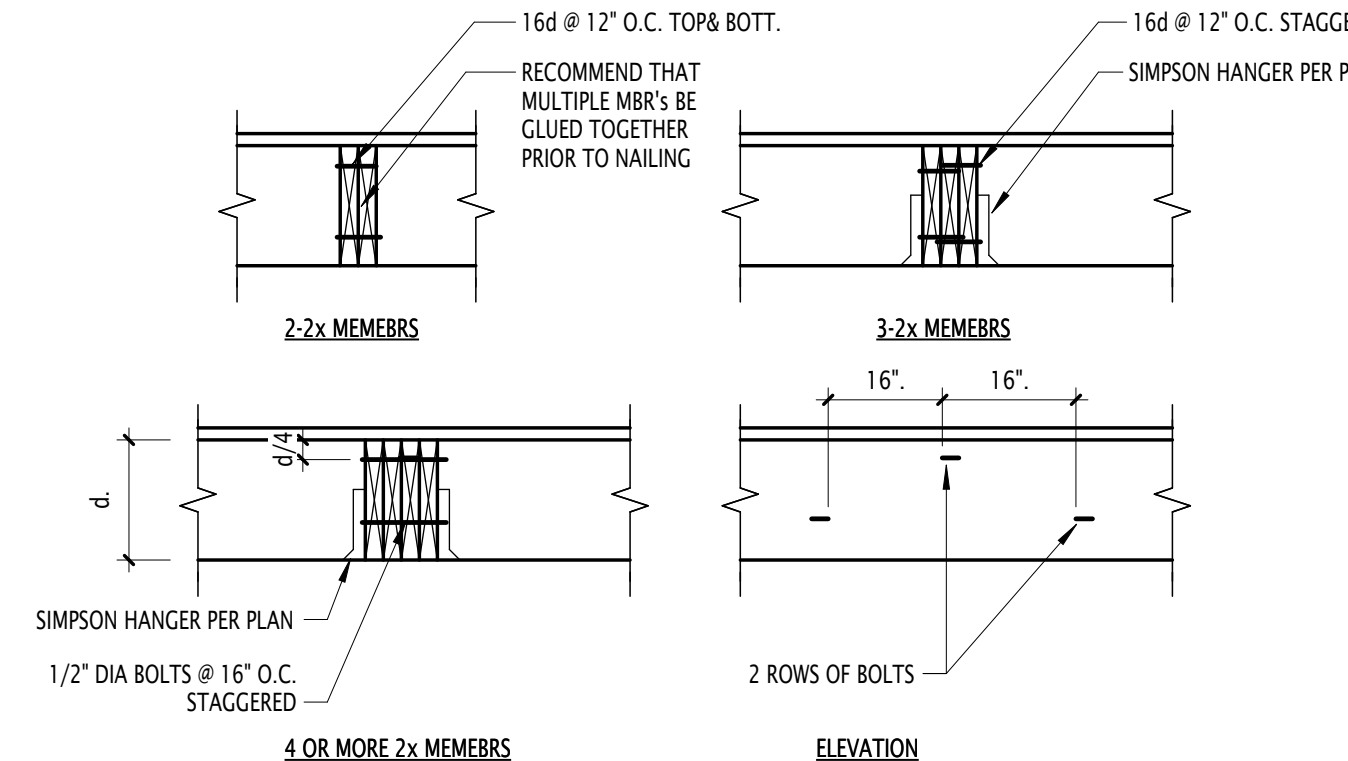
14 INTERIOR WALL @ JOIST
3/4" = 1'-0"



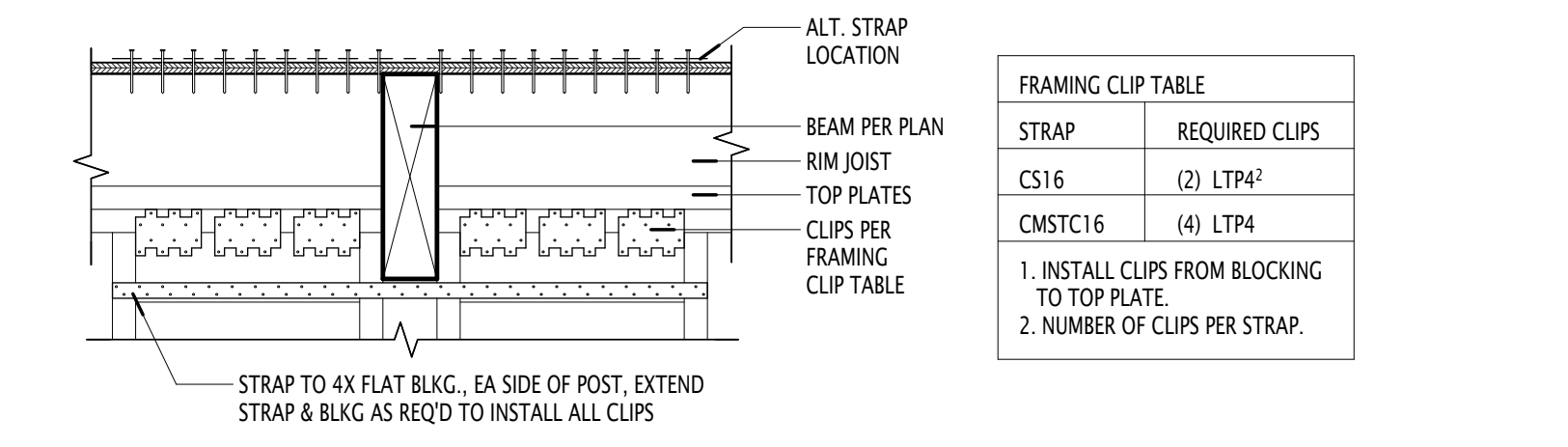
8 EXTERIOR WALL @ JOIST
3/4" = 1'-0"



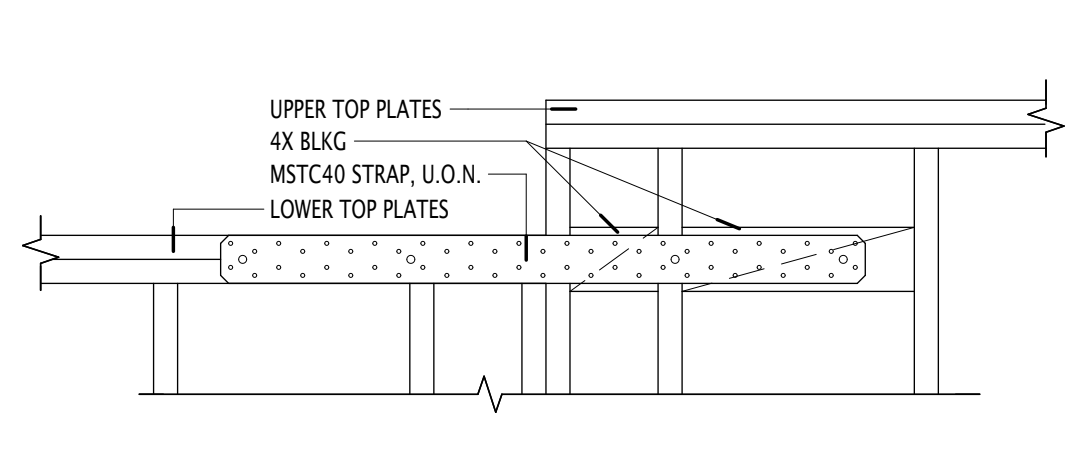
4 WALL FRAMING W/OPENING
1/2" = 1'-0"



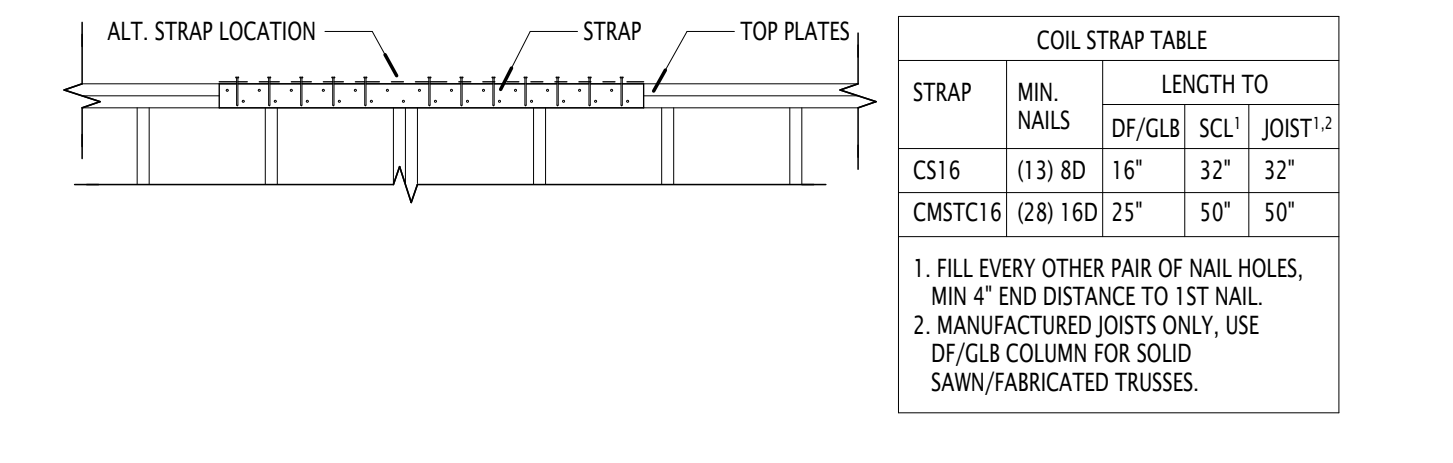
17 TYP BUILT UP JOIST/BEAM DETAIL
N.T.S.



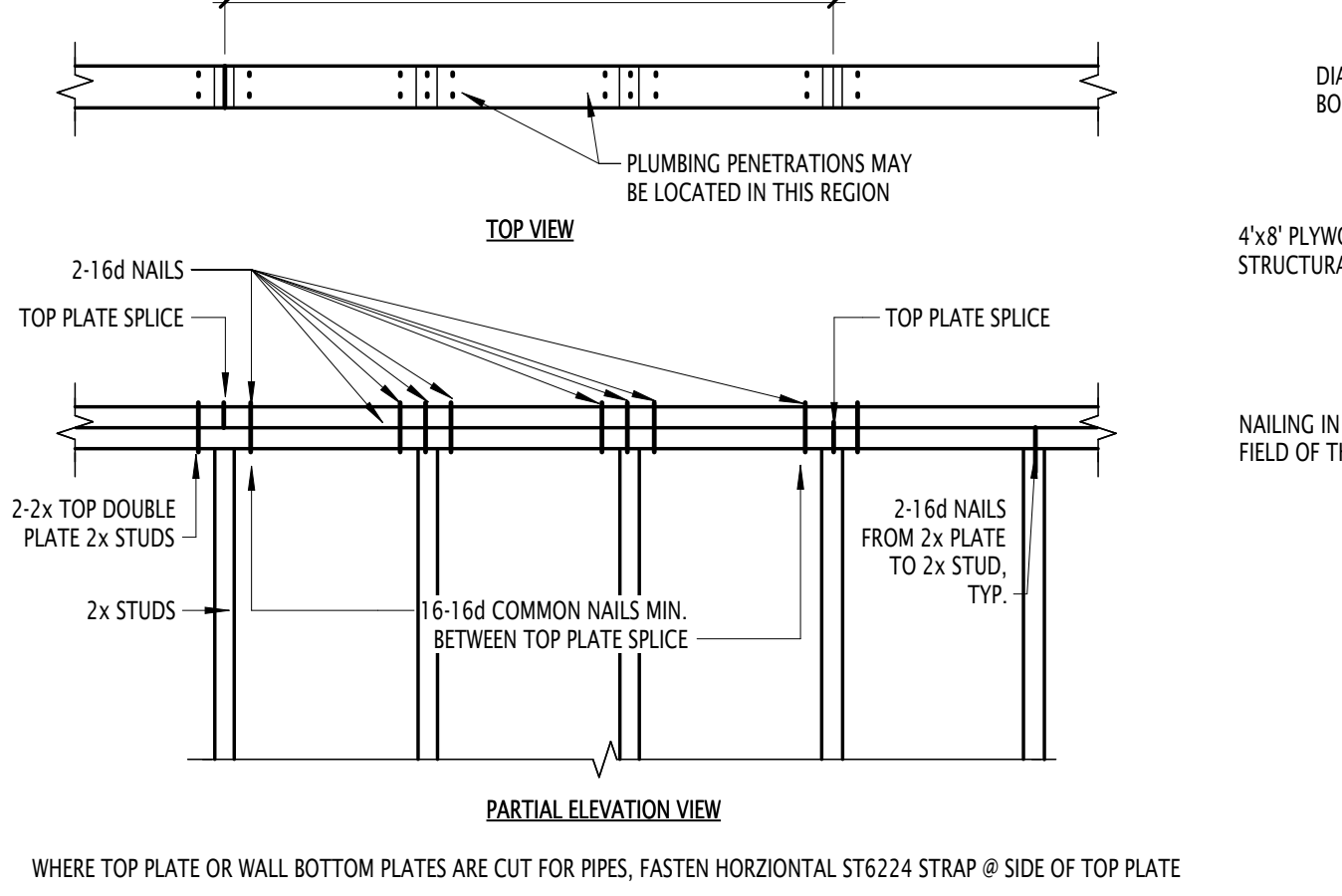
13 STRAP @ TOP PLATE BREAK @ CONT. WALL
1" = 1'-0"



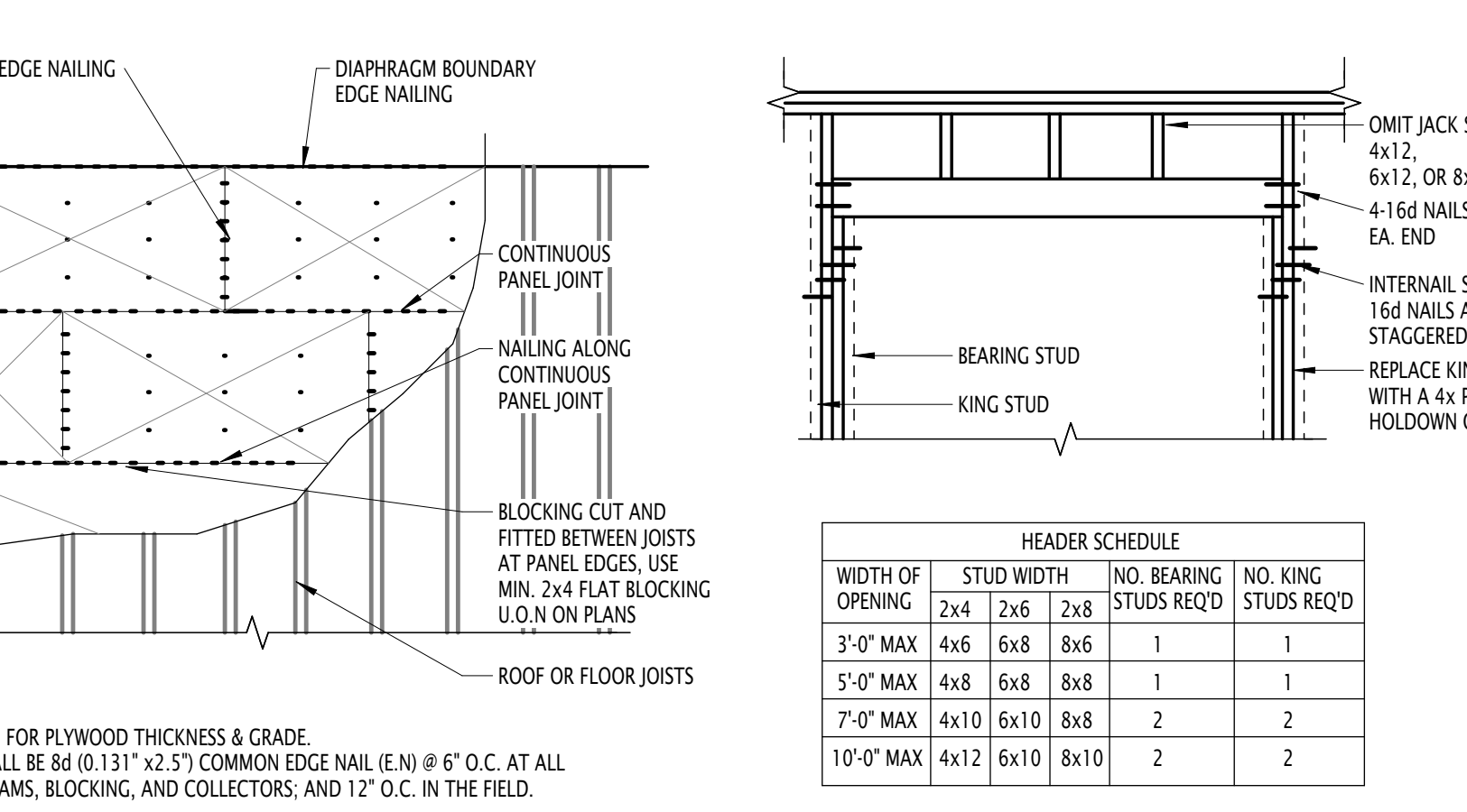
7 STEPPED TOP PLATE SPLICE
1" = 1'-0"



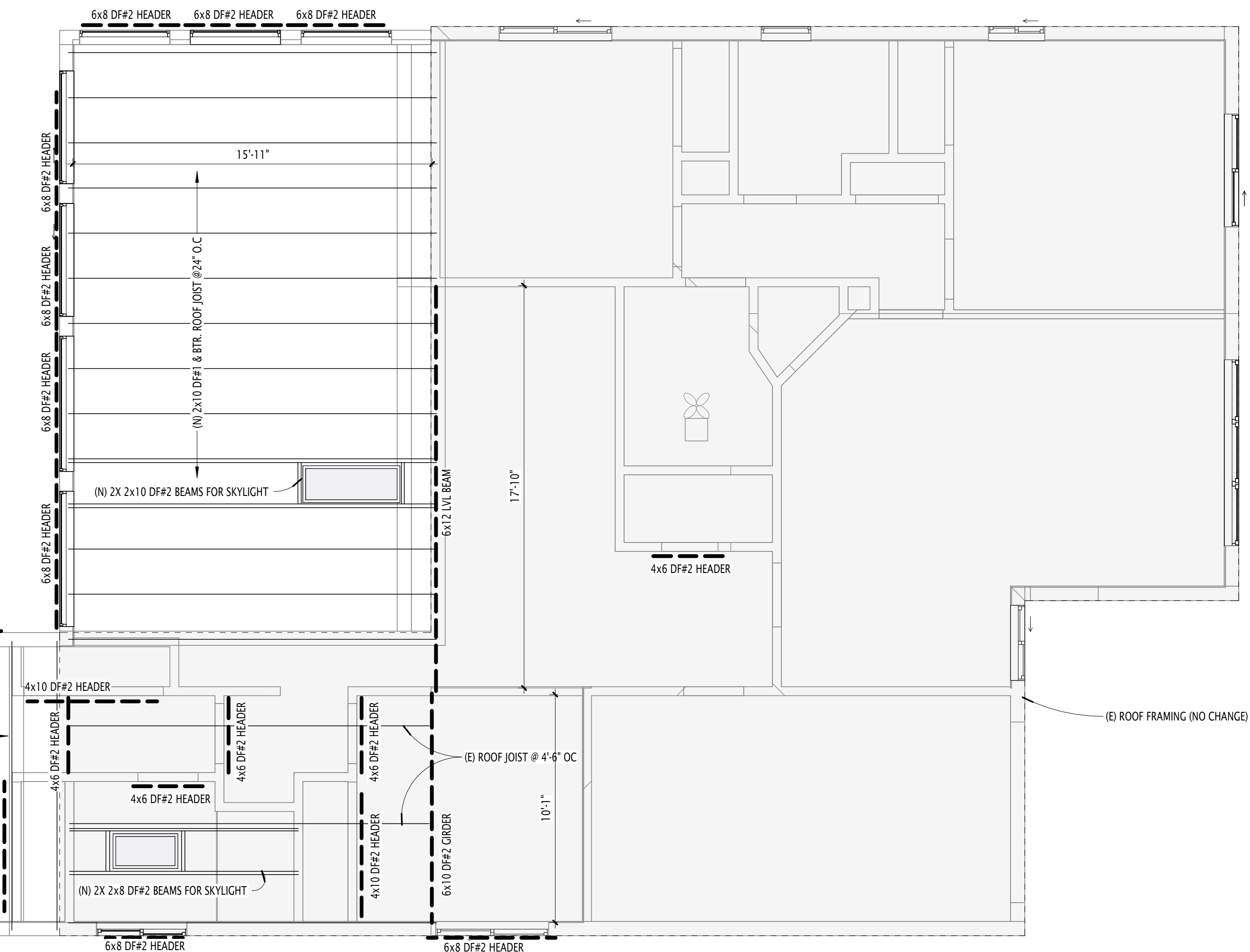
3 STRAP @ TOP PLATE BREAK, TYP. COND.
1/2" = 1'-0"



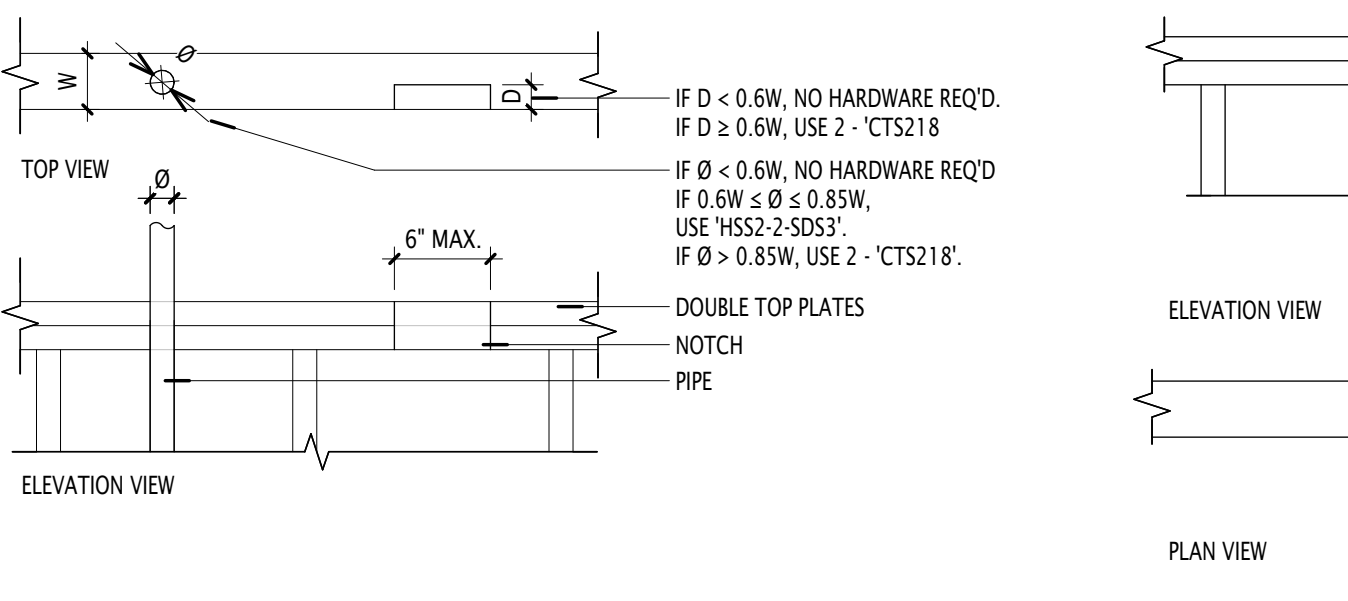
16 TYP. TOP PLATE @ STRUC. WALL
N.T.S.



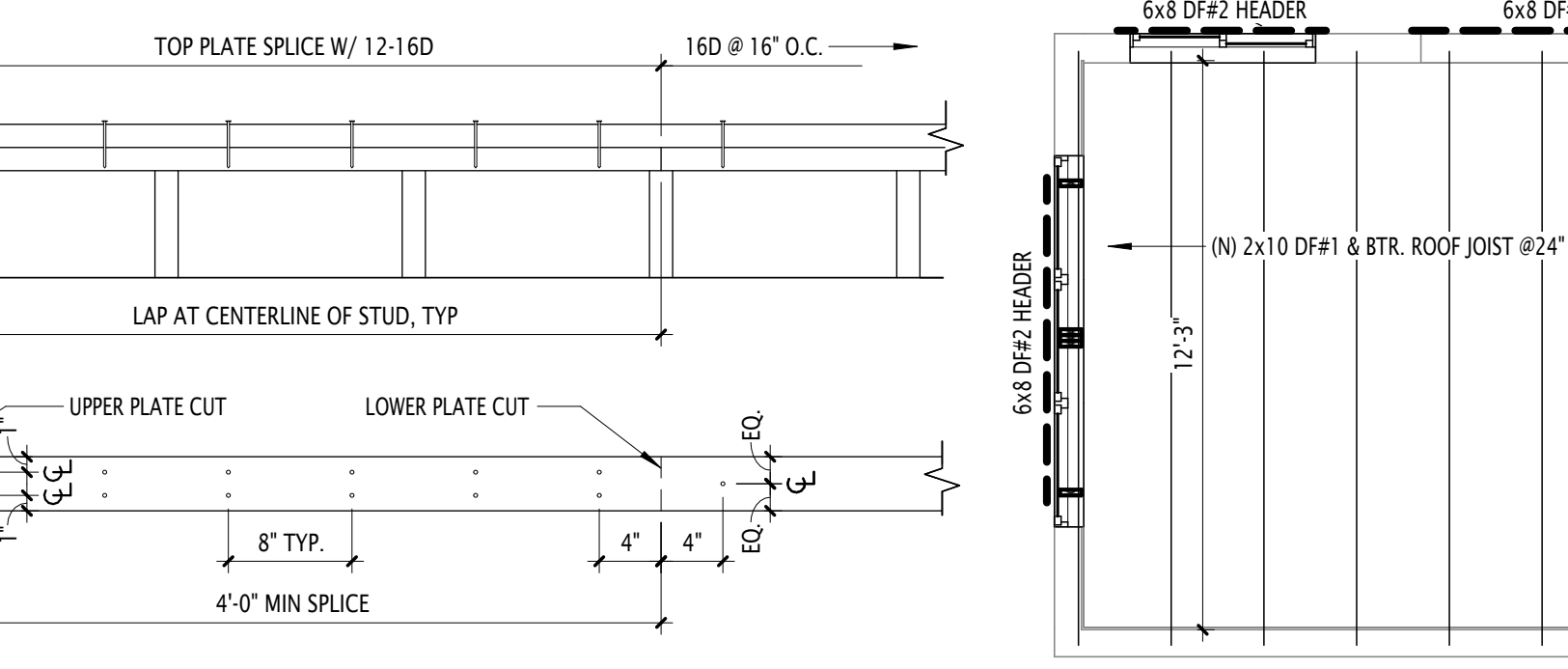
12 BLOCK'D DIAPH'M (PART.RF)
N.T.S.



1 ROOF FRAMING PLAN
1/4" = 1'-0"



15 DRIL'G & NOTCH'G @ TOP PL.
1" = 1'-0"



11 NAILED TOP PLATE SPLICE
1" = 1'-0"



No.	Description	Date

PREPARED BY:
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ROOF FRAMING PLAN

Project number	2407
Date	7/26/2024
Drawn by	Author
Checked by	Checker

S2
Scale As indicated