



Staff Liaison
Sean Moss | 510.215.4330
smoss@ci.el-cerrito.ca.us

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AGENDA

REGULAR MEETING OF THE PLANNING COMMISSION

May 21, 2025 at 7:30 p.m

City Council Chambers, El Cerrito City Hall
10890 San Pablo Avenue
El Cerrito, CA 94530

7:30 p.m. CONVENE REGULAR MEETING

- 1. ROLL CALL** – Chair Joy Navarrete; Vice Chair Erin Gillett; Members Daniel Hamilton, Courtney Helion, Michael Norwood, and Nathan Tinclair
- 2. COUNCIL/STAFF LIAISON ANNOUNCEMENTS AND REPORTS**
The City Council Liaison or City staff may report on matters of general interest to the Planning Commission, Council policies, priorities and significant actions taken by the City Council.
- 3. ORAL COMMUNICATIONS FROM THE PUBLIC**
Remarks are typically limited to three minutes per person, and may be on anything within the subject matter jurisdiction of the body. Remarks on non-agenda items will be heard first. Remarks on agenda items will be heard at the time the item is discussed.
- 4. ADOPTION OF MINUTES**
Adoption of the March 5, 2025 meeting minutes.
- 5. COMMISSIONER COMMUNICATION/CONFLICT OF INTEREST DISCLOSURE**
This time on the agenda is reserved for Commissioners to disclose communications from individuals regarding specific agenda items or to state a potential conflict of interest in relation to a specific agenda item.
- 6. PUBLIC HEARING: 623 NORVELL STREET – USE PERMIT**
Application: PL25-0059

Applicant: David Carvel
Location: 623 Norvell Street
APN: 503-371-001
Zoning: RS-5
General Plan: Low Density Residential
Request: Planning Commission consideration of a Conditional Use Permit to allow a second story addition to exceed the required main building envelope and to allow an expansion of a non-conforming setback to a single-family house (ECMC Section 19.06.030.D and ECMC Chapter 19.34.
CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

7. STAFF COMMUNICATIONS

Informational reports on matters of general interest, presented by City staff.

8. ADJOURNMENT

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Staff Liaison, (510) 215-4330. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (28 CFR 35.102-35.104 ADA Title I).

Any writings or documents provided to a majority of the members regarding any item on this agenda will be made available for public inspection at 10890 San Pablo Avenue El Cerrito, CA 94530 during normal business hours.



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DRAFT MINUTES

REGULAR MEETING OF THE PLANNING COMMISSION

March 5, 2025 at 7:30 p.m

City Council Chambers, El Cerrito City Hall
10890 San Pablo Avenue
El Cerrito, CA 94530

7:30 p.m. CONVENE REGULAR MEETING

1. **ROLL CALL** –Vice Chair Erin Gillett; Members Daniel Hamilton, Courtney Helion, Michael Norwood, and Nathan Tinclair. Chair Joy Navarrete had an excused absence.
2. **COUNCIL/STAFF LIAISON ANNOUNCEMENTS AND REPORTS**
Nothing was reported.
3. **ORAL COMMUNICATIONS FROM THE PUBLIC**
No comments
4. **ADOPTION OF MINUTES**
Moved/Second: Member Norwood/Tinclair **Action:** Passed a motion to adopt the February 19, 2025 meeting minutes
Ayes: Gillett, Norwood, Tinclair
Noes: None
Abstain: Hamilton, Helion
Absent: Navarrete
5. **COMMISSIONER COMMUNICATION/CONFLICT OF INTEREST DISCLOSURE**
Nothing reported.
6. **GENERAL PLAN ANNUAL PROGRESS REPORT**

Applicant: City of El Cerrito
Location: Citywide
Request: Planning Commission consideration of a recommendation to the City Council to receive and file the 2024 General Plan Annual Progress Report.
CEQA: The adoption of the General Plan Annual Progress Report does not constitute a project pursuant to Public Resources Code Section 21065, and CEQA Guidelines Sections 1506.

Associate Planner Diego Romero presented the staff report and answered questions from the Commission.

Moved/Second: Member Hamilton/Gillett. **Action:** Passed a motion to recommend that the City Council receive and file the 2024 General Plan Annual Progress Report.

Ayes: Members Gillett, Hamilton, Helion, Norwood, Tinclair

Noes: None

Abstain: None

Absent: Navarrete

7. **STAFF COMMUNICATIONS**

Planning Manager Sean Moss updated the Commission regarding upcoming Planning Commission and City Council agenda items.

8. **ADJOURNMENT**

8:00 p.m.



Community Development Department
Planning and Building Division
10890 San Pablo Avenue, El Cerrito, CA 94530
(510) 215-4330 | planning@ci.el-cerrito.ca.us

PLANNING COMMISSION CONDITIONAL USE PERMIT REPORT MAY 21, 2025

623 NORVELL STREET

DETAILS

Application Number: PL24-0059

Applicant: David Carvel

Location: 623 Norvell Street

APN: 503-421-003

Zoning: RS-5 (Single Family Residential)

General Plan: Low Density Residential

Request: Planning Commission consideration of a Conditional Use Permit to allow a second story addition to exceed the required main building envelope and to allow an expansion of a non-conforming setback to a single-family house (ECMC Section 19.06.030.D and ECMC Chapter 19.34).

CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

EXECUTIVE SUMMARY

The requested entitlement for consideration by the Planning Commission is a Conditional Use Permit to allow an exception to the main building envelope and an expansion of a non-conforming setback for a proposed second story addition of an existing single-family house.

The applicant is proposing a 603 sq. ft. addition to the second story of an existing house which would exceed the building envelope requirements for the south side of the building. The existing house has a non-conforming south side setback of 4 ft. 1 in., the proposed addition would increase the height of the wall along this setback thus would be considered an expansion of a non-conforming setback. The proposed height of the building at the south side setback would be 20 ft. 1 in. tall, and at the front setback would be 21 ft. 8 in. tall, whereas the daylight plane starts at a height of 15 feet at the setback line. The proposed addition would be a maximum of 22 ft. 1 in. tall, and the project would not exceed the base height of 25 feet.

Based on the evidence and analysis contained in this report, staff are recommending approval of the Conditional Use Permits.

Background

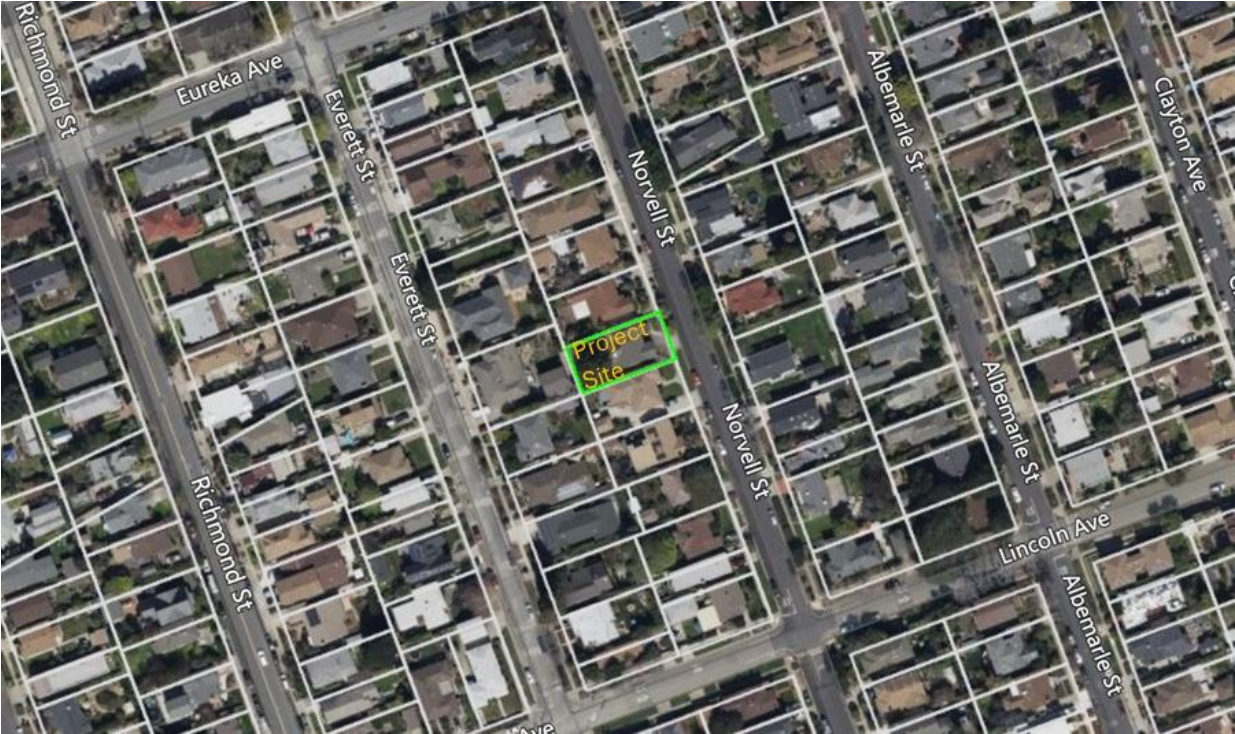
Site Location and Layout

The existing two-story house at 623 Norvell Street is 1,275 square feet. The house sits on a 5,000-square-foot lot that is relatively flat. The lot is located in the RS-5 (Single Family Residential) zoning district. The existing lot coverage of the property is 38 percent.

The existing house has a kitchen, a dining room, a living room, three bedrooms, one bathroom, and a one-car-attached carport. The existing house has a non-conforming side setback of 4 ft. 1 in. but complies with all other setback requirements of the RS-5 zoning district.

The surrounding neighborhood contains mostly single-family houses. The surrounding houses are a mixture of one-story and two-story houses.

Vicinity Map



Site Photo



View form Norvell Street

Adjacent Designations and Land Uses

North: Single Family Residential (RS-5) Zoning and Low Density Residential General Plan designation. Single family house.

South: Single Family Residential (RS-5) Zoning and Low Density Residential General Plan designation. Single family house.

West: Single Family Residential (RS-5) Zoning and Low Density Residential General Plan designation. Single family house.

East: Single Family Residential (RS-5) Zoning and Low Density Residential General Plan designation. Single family house.

Analysis

Project Description

The applicant is proposing a 603 sq. ft. addition to the existing second story which would exceed the building envelope requirements for the south side of the building. The existing house has a non-conforming south side setback of 4 ft. 1 in., the proposed addition would increase the height of the wall along this setback thus would be considered an expansion of a non-conforming setback

The addition would have a maximum height of 22 ft. 1 in., with the height of the addition at the front setback line being 21 ft. 8 in. and 20ft. 1 in. at the south side setback. The proposed addition would create a primary bedroom and an additional full bathroom and half bathroom resulting in a total of five bedrooms and two and a half bathrooms.

The addition would not comply with the required main building envelope, including the required daylight plane and would increase the height of the building at the existing non-conforming south side setback.

Table 1: Comparative Development Standards – RS-5 Zone and Proposed Project

Development Standard	Zoning Ord. Requirement	Existing	Proposed	Complies
Height (maximum)	25' maximum	15'-7.5"	22'-1"	Yes
Height (at setback lines)	15' maximum	15'-7" (south side setback)	20'-1" (south side setback)	No. Use Permit required.
Height (at setback lines)	15' maximum	11'-3" (front setback)	21'-8" (front setback)	No. Use Permit required.
Setbacks				
Front	10'	10'-5"	No change	Yes
Side (north)	5'	5'	No change	Yes
Side (south)	5'	4'-1"	4'-1"	No. Use Permit required.
Rear	15'	47'-10"	44'-1"	Yes
Parking spaces (covered)	0 spaces AB 2097	1 spaces	No change	Yes
Lot Coverage	50% maximum	38%	39%	Yes

Main Building Envelope

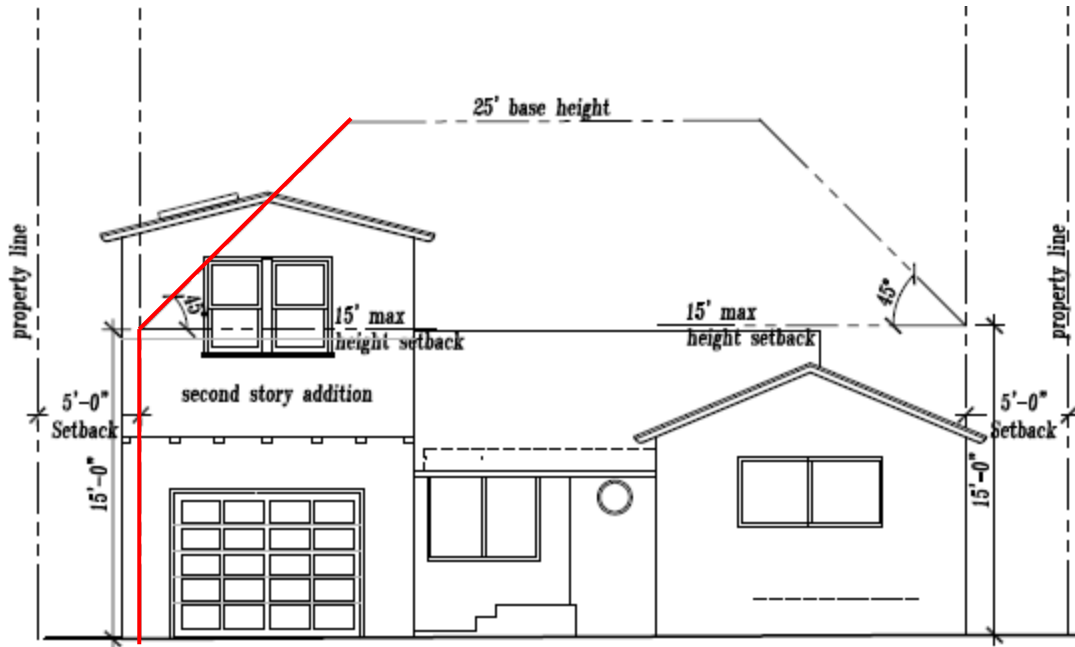
Figure 19.06-B of the El Cerrito Zoning Ordinance establishes the permitted height limits and daylight planes for development in the RS zoning districts.

Maximum heights and daylight planes are dependent on the slope of the subject property. The subject property has an average lot slope of less than 10%. The permitted maximum building envelope, therefore, reaches a height of 15 feet at the required setback lines and then slopes toward the center of the property at a 45-degree angle (the required daylight plane), until it reaches a base height of 25 feet. The 'base height' is the maximum height permitted by-right.

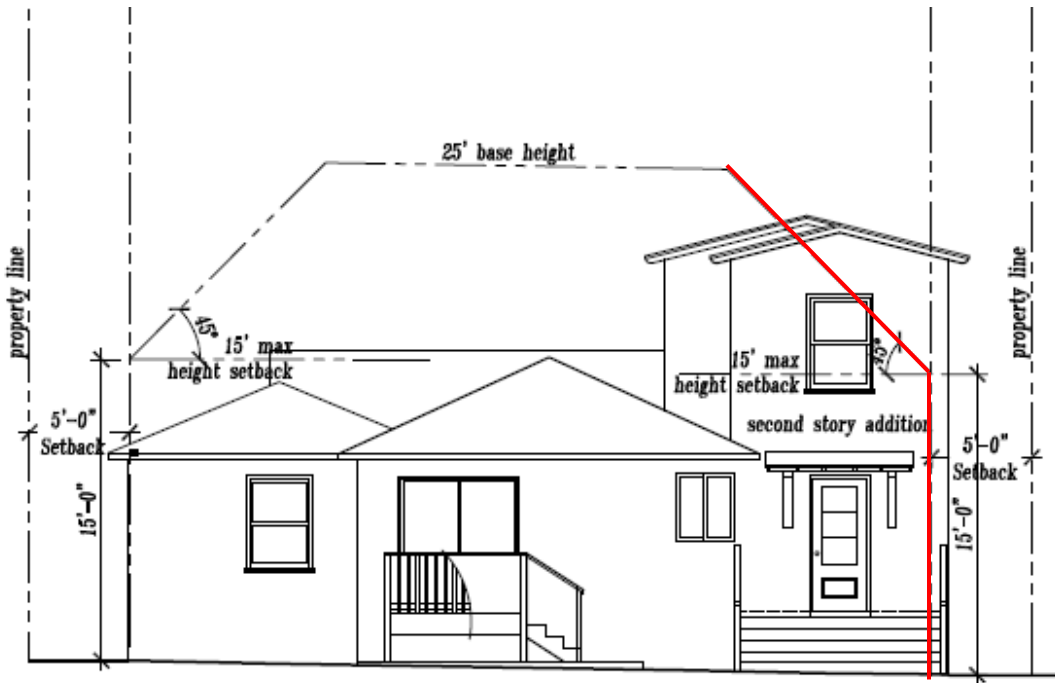
The proposed addition exceeds the daylight plane along the Eastern and Southern side of the building (see Sheet A304 of Attachment 2). The height of the east and south side of the proposed addition is proposed to be 21 ft. 8 in. and 20 ft. 1 in. tall at the setback lines, whereas the daylight plane starts at a height of 15 feet at the setback. No portion of the existing house or of the proposed addition exceeds the base (by-right) 25-foot height limit (see images below).

The applicant originally submitted a version of the proposal where the max height of the building was 22 ft 5 in. City staff originally asked that height of the wall at the side setback be reduced, but the applicant felt that design did not work for their needs. The applicant proposed to lower the pitch of the roof which lowers the over building height thus reducing the encroachment.

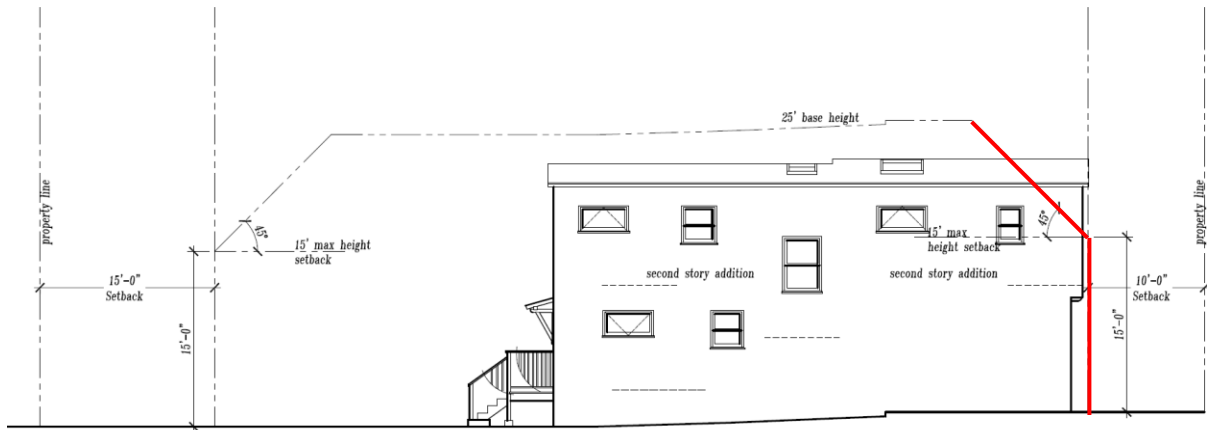
Based on previous feedback from the Planning Commission, staff requested the applicant to install story poles because they were seeking an exception to the daylight plane which was not minor. The story poles were installed before the public notice was distributed on 5/7/25 and will remain in place until the end of the appeal period. Staff encourages the Commissioners to view the story poles in order to best envision the scale and massing of the addition.



Proposed East (Front) Elevation



Proposed West (Rear) Elevation



Proposed South (Side) Elevation



Story Poles viewed from Norvell Street

The findings required for approval of Conditional Use Permits are discussed in detail below. In addition to the standard findings required for Conditional Use Permits, Section 19.06.030(D)(3)(a) of the El Cerrito Municipal Code (ECMC) contains an additional finding which is required for approval of Conditional Use Permits which grant exceptions to the main building envelope. This finding requires that “the proposal when viewed in its entirety represents a superior design solution to that which would be possible if the project were built in full compliance with the required standards for the main building envelope and will not cause a significant adverse impact on residences to the side, rear or directly across the street with respect to solar access, view blockage and privacy.” These issues are discussed in greater detail below.

Project Design

The applicant's objectives for the development of the proposed addition are described below. As described below for each objective, the proposed project represents a superior design solution with regard to these areas:

1. Usable Rooms. The requested daylight plane exception allows for improved and usable rooms on the second floor. Without these extra few feet that are allowed by the requested daylight plane exception, these two rooms would be sub-standard sizes.
2. Open space. If the addition was located on the ground floor behind the existing house instead, then that would significantly reduce the open space in the rear yard.
3. Aesthetics. The proposed second story addition is more aesthetically balanced than if the addition complied with daylight plane requirements.
4. Structural simplification. If the second story addition was designed to comply with daylight plane requirements, it would require the second story wall to be setback a few feet from the first story wall. This would complicate the structural and seismic design of the building as well as the process of framing the addition such that construction costs would significantly increase.

Solar Access

The proposed addition is proposed to be 22 ft. 1 in. tall. Given that the proposed addition will be located on the south side of the property, it is not expected that it will not cause a significant solar access impact to the house to the north located at 627 Norvell Street. Consequently, the proposed house will not cause a significant adverse impact on adjacent residences with respect to solar access.

Views

The El Cerrito General Plan acknowledges the presence of views of bridges, San Francisco and San Pablo bays, Mt. Tamalpais and Marin County, and the East Bay hills from uphill locations in El Cerrito. Due to the gently sloping topography, location and scale of surrounding houses, and existence of trees on and adjacent to the project site, potential view impacts to residences of key landmarks that would result from the proposed addition appear to be limited. City staff note that this is based on staff's assessment of the best available information. City staff did not have access to adjacent properties and were not able to observe the views from inside adjacent residences.

Privacy

The requested daylight plane exception is located on the south side of the building. There are four proposed windows on the second story that face the house located at 619 Norvell Street, directly south of the project site. Two of the windows will be located in a laundry room and bathroom. The other two windows will be in the main bedroom and office, but these windows are proposed to be 2ft. tall by 4ft. wide. Thus, the proposed addition is not anticipated to result in privacy impacts upon adjacent neighbors. Additionally, the applicant submitted a letter of support from the property owner of 619 Norvell Street.

Public Notice and Comment

The required public notice for the project was published in the East Bay Times and mailed to owners of property within 300 feet of the project site on or before May 7, 2025.

Public comments were received by João and Marisa Almeida (see Attachment 3) property owners of 614 Norvell Street. Their comments are supportive of the project. The applicant also submitted letters of support from neighbors at 619 Norvell Street and 624 Everett Street (See Attachment 4).

Environmental Review

This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

Compliance with the General Plan

The Conditional Use Permit to allow an exception to the main building envelope is consistent with the following policies of the El Cerrito General Plan:

LU1.5: Suitable Housing. Promote suitably located housing and services for all age groups within the City.

The proposed second story addition would create a primary bedroom and an office to an existing single-family home, providing suitable housing for a large family or multi-generational household.

CD1.1: Neighborhood Character. Preserve and enhance the character of existing residential neighborhoods by limiting encroachment of new buildings and activities that are out of scale and character with the surrounding uses.

The project is not expected to have substantially greater impacts to views, solar access, and privacy than it would if it were designed to comply with the main building envelope requirements. The project does not exceed the overall height limit for the RS-5 zoning district.

Required Findings

Conditional Use Permit – Building Envelope

In order to approve the Conditional Use Permit to allow an exception to the main building envelope, the Planning Commission must make the following findings, contained in Section 19.34.040 of the El Cerrito Municipal Code:

1. The location, size, design, and operating characteristics of the proposed development will be harmonious and compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.

The surrounding houses are predominantly single-family houses with a mixture of two-story and one-story houses. The proposed addition would not substantially increase the footprint of the house and would result in an 1,834 square foot house on a 5,000 square foot lot. The proposed addition would expand the non-conforming side setback by increasing the height of that wall by approximately 4 ft. The location, size, and design of the proposed house addition are consistent with the scale and design of development in the surrounding neighborhood. As described in the staff report, the proposed addition has been designed to limit privacy, view, and solar access impacts to the adjacent properties.

2. The location and design of the proposal will provide a convenient and functional living, working, shopping, or civic environment that will be an attractive amenity for the City.

The proposed two-story addition creates a primary bedroom and adds a bathroom and office to an existing single-family home and would result in five bedrooms, a kitchen, a dining room, a living room, two and a half bathrooms, and a one-car attached garage. The resulting house will be an attractive addition to the neighborhood.

3. The proposal is consistent with the purpose of the district where it is located and conforms in all significant respects with the El Cerrito General Plan and with any other applicable plan adopted by the City Council.

The Conditional Use Permit will allow the expansion of a single-family home, which is a permitted land use in the RS-5 district and consistent with the district's intent. The proposed project will implement the following policies of the El Cerrito General Plan: LU1.5: Suitable Housing, and CD1.1: Neighborhood Character.

In addition, to approve the Conditional Use Permit to allow an exception to the main building envelope, the Planning Commission must make the following findings in Section 19.06.030.D.3.i:

4. The proposal when viewed in its entirety represents a superior design solution to that which would be possible if the project were built in full compliance with the required standards for the main building envelope and will not cause a significant adverse impact on residences to the side, rear or directly across the street with respect to solar access, view blockage and privacy.

The proposed house addition has been designed to limit privacy, view, and solar access impacts to the adjacent properties. It is not expected that the proposed house will significantly impact the solar access of adjacent houses due to the geographic context of the lot. Due to the sloping topography, location and scale of surrounding houses, and existence of trees on and adjacent to the project site, potential view impacts to residences of key landmarks that would result from the proposed addition appear to be limited.

Staff Recommendation

Based on the information contained in this report, staff recommend approval of Planning Application PL24-0059, as conditioned by the draft resolution in Attachment 1.

Proposed Motion

1. Move adoption of Planning Commission Resolution PC2025-03 approving the Conditional Use Permit to allow an exception to the main building envelope for a proposed two-story addition of an existing single-family house at 623 Norvell Street.

Appeal Period

Within ten (10) calendar days after the date of the decision, the Planning Commission action may be appealed to the City Council.

Attachments

1. Draft resolution
2. Project plans
3. Architect Letter
4. Public Comment from João and Marisa Almeida
5. Letters of support submitted by applicant

Planning Commission Resolution PC 2025-03

APPLICATION NO. PL24-0059

A RESOLUTION OF THE CITY OF EL CERRITO PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT TO ALLOW A PROPOSED TWO-STORY ADDITION TO A SINGLE-FAMILY HOUSE WHICH EXCEEDS THE REQUIRED MAIN BUILDING ENVELOPE AND TO ALLOW AN EXPANSION OF A NON-CONFORMING SETBACK AT 623 NORVELL STREET

WHEREAS, the site is located at 623 Norvell Street; and

WHEREAS, the existing Assessor's Parcel Number of the site is 503-421-003; and

WHEREAS, the General Plan land use classification of the site is Low Density Residential; and

WHEREAS, the zoning district of the site is RS-5 (Single Family Residential); and

WHEREAS, the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities; and

WHEREAS, on July 18, 2024, David Carvel (the "applicant") submitted an application for a Conditional Use Permit to allow proposed two-story addition to a single-family house which exceeds the required main building envelope and expands a non-conforming setback at 623 Norvell Street (pursuant to Section 19.34 of the El Cerrito Municipal Code); and

WHEREAS, on May 21, 2025, the Planning Commission, after due consideration of all evidence and reports and application materials offered for review does find and determine the following:

1. The surrounding houses are predominantly single-family houses with a mixture of two-story and one-story houses. The proposed addition would not substantially increase the footprint of the house and would result in an 1,834 square foot house on a 5,000 square foot lot. The proposed addition would expand the non-conforming side setback by increasing the height of that wall by approximately 4 ft. The location, size, and design of the proposed house addition are consistent with the scale and design of development in the surrounding neighborhood. As described in the staff report, the proposed addition has been designed to limit privacy, view, and solar access impacts to the adjacent properties.
2. The proposed two-story addition creates a primary bedroom and adds a bathroom and office to an existing single-family home and would result in five bedrooms, a kitchen, a dining room, a living room, two and a half bathrooms, and a one-car attached garage. The resulting house will be an attractive addition to the neighborhood.
3. The Conditional Use Permit will allow the expansion of a single-family home, which is a permitted land use in the RS-5 district and consistent with the district's intent. The proposed project will implement the following policies of the El Cerrito General Plan: LU1.5: Suitable Housing, and CD1.1: Neighborhood Character.
4. The proposed house addition has been designed to limit privacy, view, and solar access impacts to the adjacent properties. It is not expected that the proposed house will significantly impact the solar access of adjacent houses due to the geographic context of the lot. Due to the sloping topography, location and scale of surrounding houses, and existence of trees on and adjacent to the project site, potential view impacts to residences of key landmarks that would result from the proposed addition appear to be limited.

NOW, THEREFORE, BE IT RESOLVED, that after careful consideration of maps, facts, exhibits, correspondence, and testimony, and other evidence submitted in this matter, and, in consideration of the findings, the El Cerrito Planning Commission hereby approves Application No. PL24-0059, subject to the following conditions:

Planning Division:

1. The project will be constructed substantially in conformance with the plans received by the City on May 14, 2025. Minor changes may be approved by the Zoning Administrator. All improvements shall be installed in accordance with these approvals. Once constructed or installed, all improvements shall be maintained as approved.
2. If the applicant constructs buildings or makes improvements in accordance with these approvals, but fails to comply with any of the Conditions of Approval or limitations set forth in these Conditions of Approval and does not cure any such failure within a reasonable time after notice from the City of El Cerrito, then such failure shall be cause for non-issuance of a certificate of occupancy, revocation or modification of these approvals or any other remedies available to the City.
3. These Conditions of Approval shall apply to any successor in interest in the property and Applicant shall be responsible for assuring that the successor in interest is informed of the terms and conditions of this approval.
4. If not exercised, this Conditional Use Permit approval will expire two years after the date of this approval pursuant to El Cerrito Municipal Code Section 19.32.100.
5. A construction staging plan shall be submitted to the Zoning Administrator for review and approval prior to the issuance of a building permit. The construction staging plan shall illustrate where the construction equipment will be staged and the location of parking for the construction employees. This construction and staging plan may also require the submission of a Temporary Use Permit.

CERTIFICATION

I certify that this resolution was adopted by the El Cerrito Planning Commission at a regular meeting held on May 21, 2025, upon motion of Commissioner _____, second by Commissioner _____:

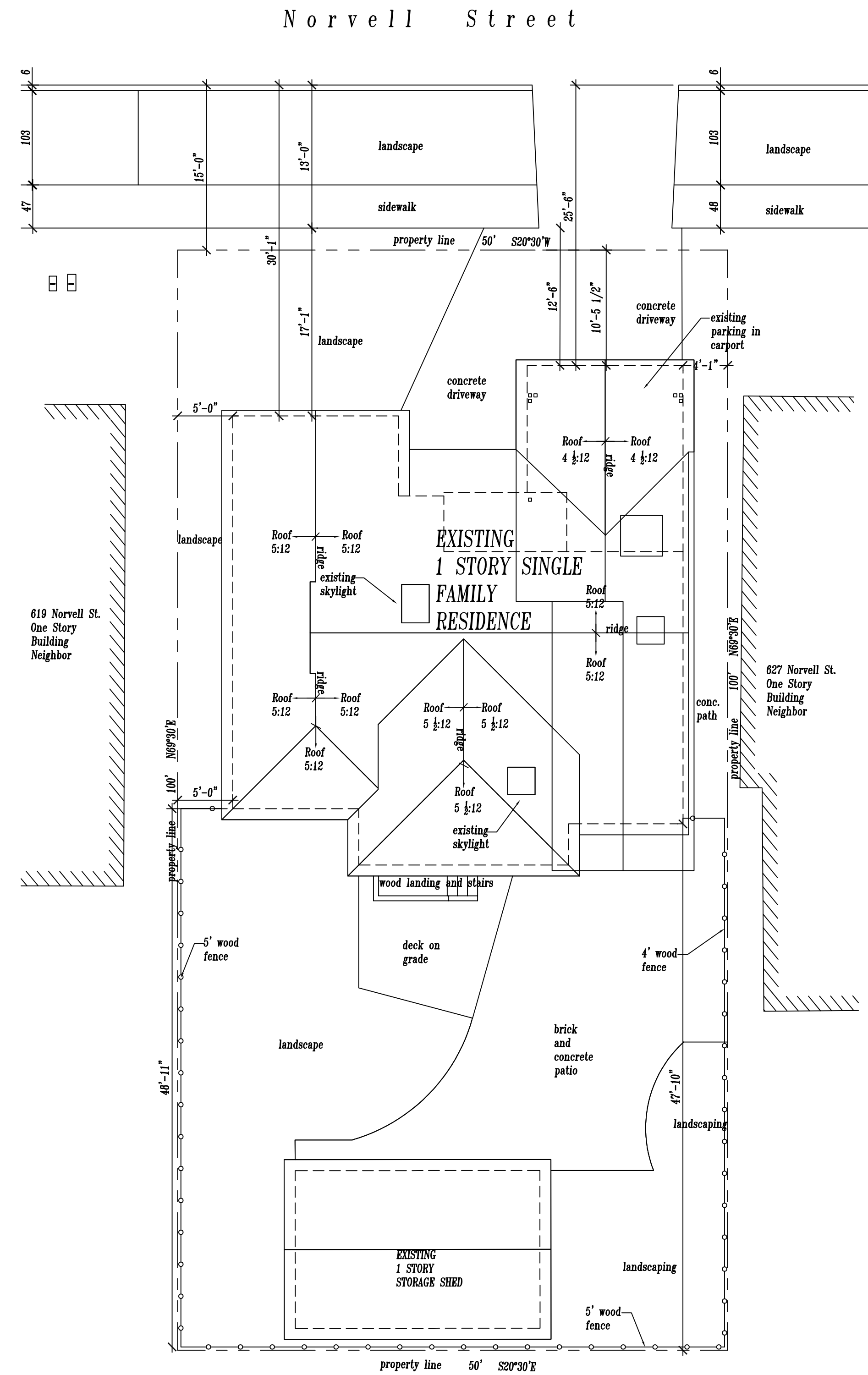
AYES:

NOES:

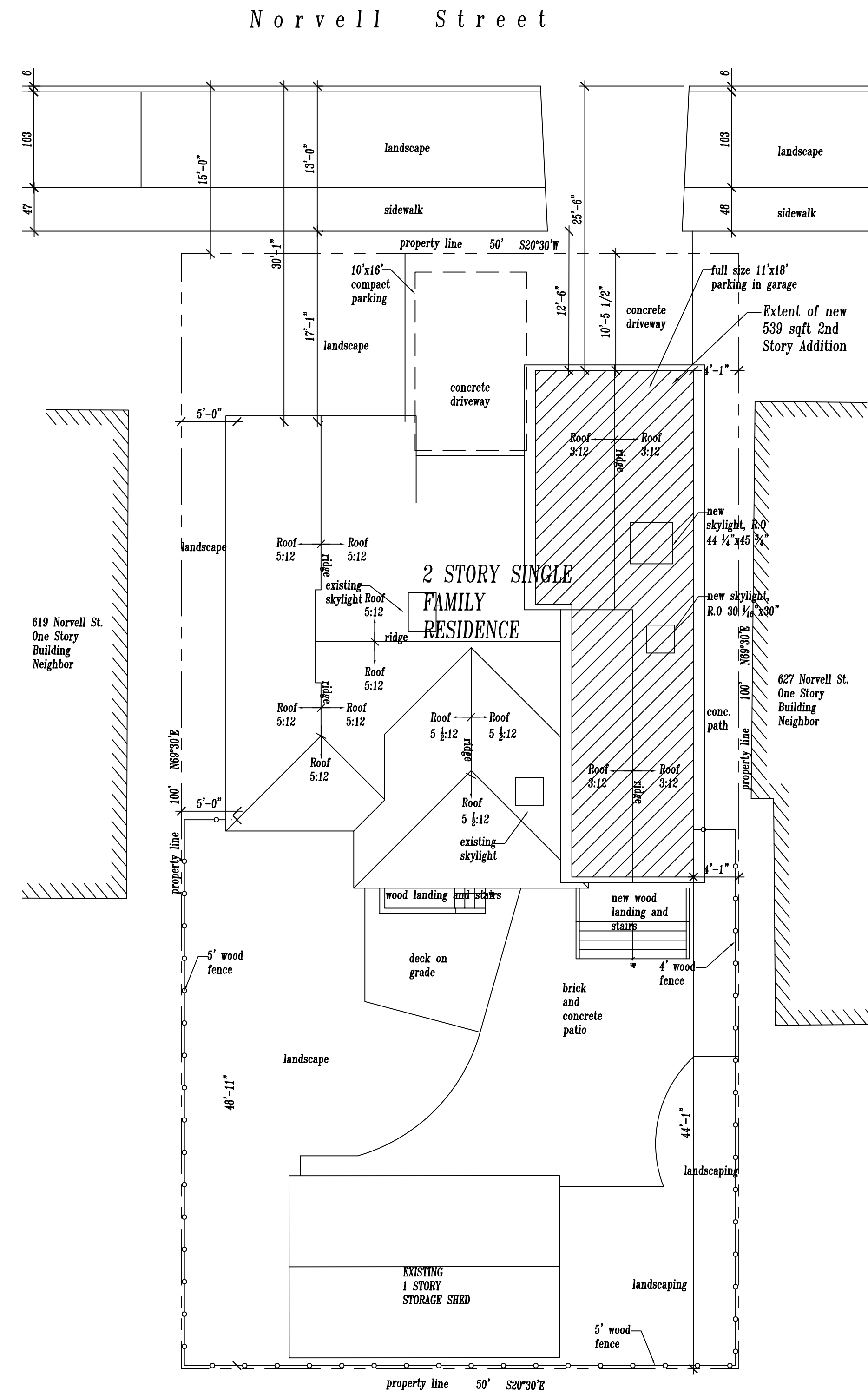
ABSTAIN:

ABSENT:

Sean Moss, AICP
Planning Manager



2 Existing Roof and Site Plan



1 New Roof and Site Plan

Project Notes

- The intent of these Documents is to show all items necessary to complete the Project. For items, methods and/or materials not shown, the minimum requirements of the current edition of the California Building Code shall govern. All work and construction shall comply with all regulations and safety requirements.
- It shall be the Contractor's sole responsibility to design and provide adequate shoring and bracing, etc., as required for the protection of life and property during the construction of this structure.
- All demolition required not necessarily shown on the Drawings. The Contractor shall verify in the field and be responsible for all demolition work necessary to complete the Project.
- All work performed by the Contractor shall conform to the 2022:
 - California Residential Building Code
 - California Plumbing Code
 - California Electric Code
 - California Mechanical Code
 - California Fire code
 - California Energy Code.
- All dimensions shall be as indicated on the Drawings or as clarified by the Designer:
 - Dimensions shall not be determined by scaling the Drawings.
 - Dimensions shown are to framing, centerline of columns, or centerline of windows, doors or other openings, and where noted, clear finish dimensions critical for equipment, casework or other requirements, U.O.N.;
 - Doors installed adjacent to perpendicular walls shall be located 1 3/4" from face of flanking wall studs unless otherwise shown.
 - All new finishes are to align flush with existing finishes, U.O.N.
- The Contractor shall take all necessary precautions in protecting areas adjacent to new construction from noise, debris and dust throughout the performance of the Agreement.
- The contractor shall be responsible for construction in conformance with the approved plans, specifications, and all code requirements under which the plans and specifications were approved.

Drawing Index

- A101 Existing and New Roof, Site Plan
- A201 Existing and New Floor Plans
- A301 Existing Exterior Elevations, Sections and Photos
- A302 New Exterior Elevations and Sections
- A303 Existing Exterior Elevations Daylight Planes
- A304 New Exterior Elevations Daylight Planes

Owner

David Carvel and Jessica Nevins
623 Norvell St. El Cerrito, Ca

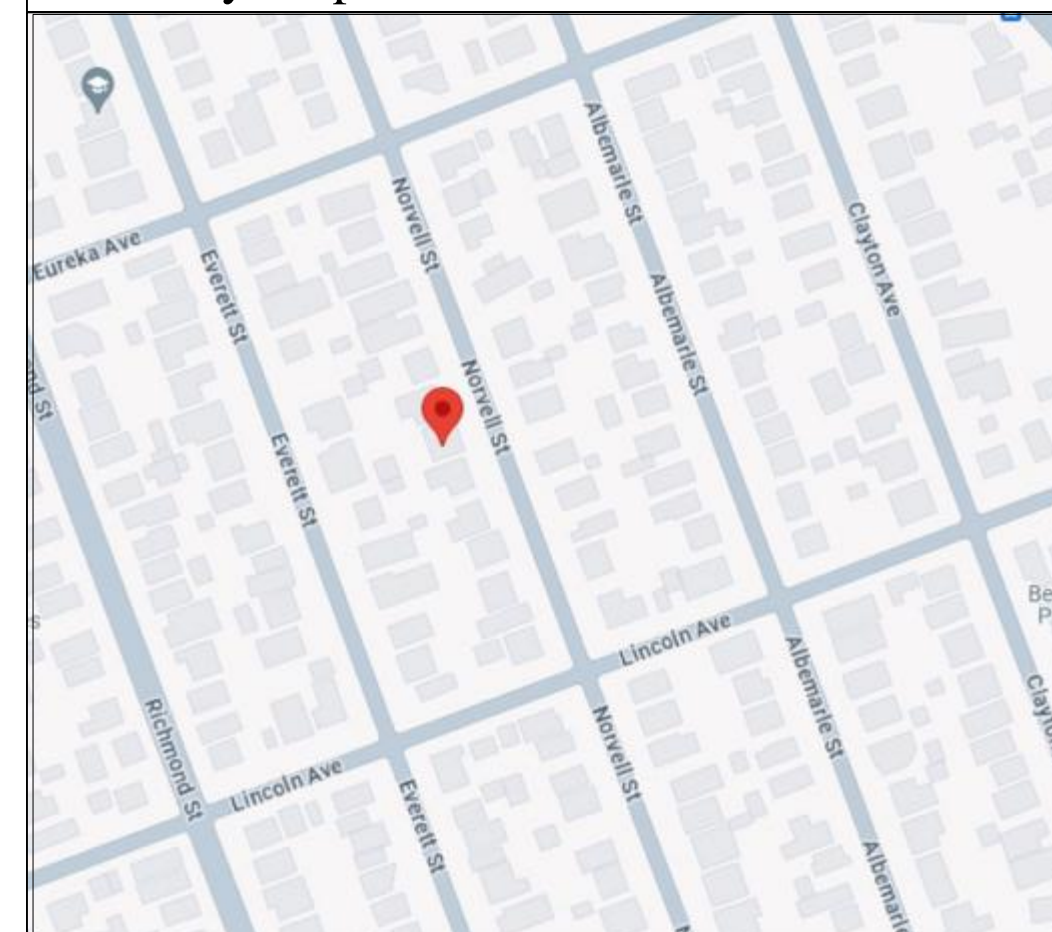
Project Data

Construction:	V-N
Occupancy:	R3
Lot Area:	5000 sqft
Existing Stories:	1 story- 15'-7 1/2"
Proposed Stories:	2 stories -22'-1 1/2" high
Existing Parking:	1 in carport
Proposed Parking:	1 full size in garage, 1 compact next to garage
Existing Floor Area:	1275 sqft
Proposed Main Floor Area:	1270 sqft
Proposed Garage Floor Area:	270 sqft
Proposed Second Story Floor Area:	564 sqft
Existing Lot Coverage:	38.4%
New Lot Coverage:	39.2%
Existing Impervious:	65.7%
Proposed Impervious:	66.7%

Scope of Work

- Remodel existing main floor bedroom and laundry
- Enclose existing carport and convert to garage
- New 399sqft main floor addition.
- New 564 sqft second floor addition

Vicinity Map



Revisions _____ Date _____

Planning _____ 04_14_25

Second Story Addition

623 Norvell St.
El Cerrito Ca, 94530

Drawing Title

Roof, Site Plan

Scale 1/8"=1'-0"

Drawn By

Job Number

Drawing Number

A101

04_14_25

The City of El Cerrito
Community Development Department
Planning Division
10890 San Pablo Ave, El Cerrito CA 94530

Project: 623 Norvell St. Conditional Use Permit

To Whom it may concern,

We are requesting a conditional use permit for an addition within an existing non-conforming side setback that will encroach into the daylight plane. The existing non-conforming setback is 4'-1". This distance will be maintained into the second story addition.

The conditional use permit requested for the day light plane exception allows for improved and usable rooms on the second the second floor. Without the extra few feet that would be allowed by the requested daylight plane exemption and side yard setback, these rooms would be substandard size. If the addition was located in the ground floor behind the existing house instead, then that would significantly reduce the open space in the rear yard per the sketch attached.

Relocating the second story addition to comply with daylight requirements without a variance would cause unreasonable hardship in planning, design, or construction because the layout of the existing home does not permit any workable alternative to the proposed improvement without doing an extensive whole house remodel. The proposed house addition allows for usable bedrooms and maintains the rear yard open space.

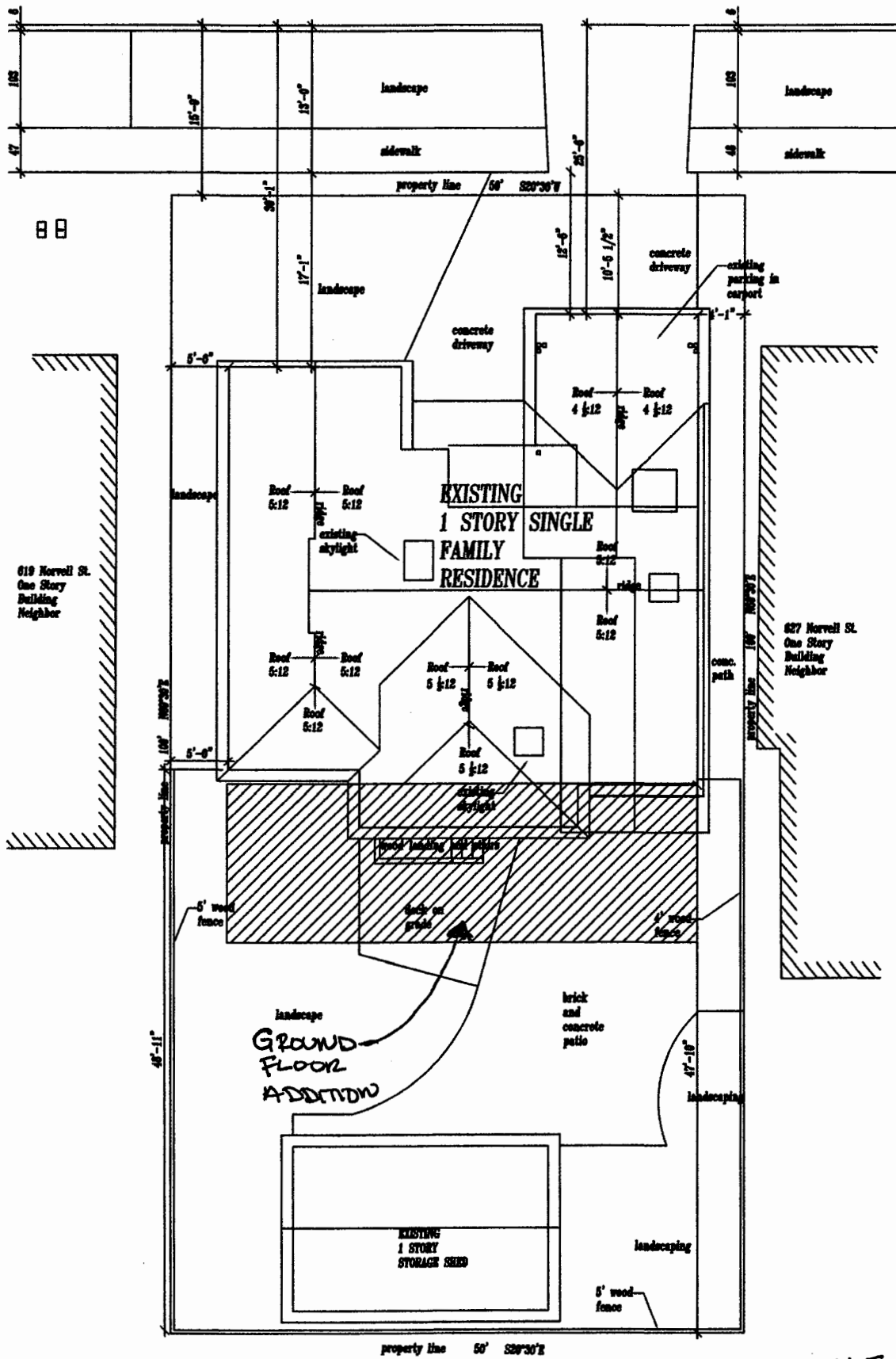
The proposed second story addition is more aesthetically balanced than if the addition complied with the daylight plan requirements. The addition minimizes massing impacts with a proposed lower pitch for the new roof; and simplifies the structural and seismic design of the building. The resulting house will be an attractive addition to the neighborhood and is consistent in historical appearance with the existing home. It would also be consistent with the surrounding single family one- and two-story houses. The addition's overall height and placement would be consistent with several adjacent neighbors including the homes at 614, 622, 630, 633, and 645 Norvell St.

Therefore, the proposed addition represents a superior design solution to that which would be possible if the project were built in full compliance with the required standards for the main building envelope. The resulting building would be 1834 sqft which matches the character of the surrounding neighborhood. It would also comply with the height limit and lot coverage regulations of the RS-5 zone that controls the building scale and character.

Respectfully,

Mario Vazquez

Norvell Street



N.T.S

Diego Romero

From: Joao Almeida <>
Sent: Friday, May 9, 2025 4:17 PM
To: Planning Mailbox
Cc: Marisa Almeida
Subject: 623 Norvell Permit Feedback

Follow Up Flag: Follow up
Flag Status: Flagged

Caution! This message was sent from outside your organization.

Hello Planning Commission,

We received a notice of the public hearing for application PL24-0059 by David Carvel.

We own and live in 614 Norvell and want to register our support for this exception permit to exceed the building envelope for the second story addition and extension of the existing setback.

The story poles were helpful to get a sense of the new shape of the house and we have no issues with them improving their home in this way.

Thanks for the notice and allowing us to comment on this exception.

Best,
João and Marisa Almeida

April 15, 2025

City of El Cerrito
Community Development Department
10890 San Pablo Ave.
El Cerrito, CA 94530

To El Cerrito Planning Commission,

We are writing to inform you that we have been apprised of the plans of Mr. David Carvel and Ms. Jessica Nevins, owners of 623 Norvell St., El Cerrito to renovate their property and apply for a permit for this purpose. We reside at 624 Everett St., El Cerrito. Our property is directly behind and west of their house.

Based on the architectural drawings of the renovation plans that Mr. Carvel has provided to me, I have no objection to their renovation plans. We believe it will add to the development of the neighborhood and is a sound plan. Please feel free to contact me if you have further questions or if I can provide any further information.

Sincerely,

Al and Sandy Shew
624 Everett St.
El Cerrito, CA 94530
alshew59@gmail.com

April 10, 2025

City of El Cerrito
Community Development Department
10890 San Pablo Ave.
El Cerrito, CA 94530

To El Cerrito Planning Commission,

We are writing to inform you that we have been apprised of the plans of Mr. David Carvel and Ms. Jessica Nevins, owners of 623 Norvell St., El Cerrito to renovate their property and apply for a permit for this purpose. We reside at 619 Norvell St., El Cerrito. Our property is next door (directly south) to their house.

Based on the architectural drawings of the renovation plans that Mr. Carvel has provided to me, I have no objection to their renovation plans. We believe it will add to the development of the neighborhood and is a sound plan. Please feel free to contact me if you have further questions or if I can provide any further information.

Sincerely,

Max Stanton
619 Norvell St.
El Cerrito, CA 94530
emmetmstanton@gmail.com

April 15, 2025

City of El Cerrito
Community Development Department
10890 San Pablo Ave.
El Cerrito, CA 94530

We spoke out to our neighbor who resides at 627 Norvell St. He expressed that he is “very busy” right now and did not want to write a letter. However, we showed him the proposed floor plans and he said that they “looked sensible” and that he had no objection to our plans.