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AGENDA

REGULAR MEETING OF THE PLANNING COMMISSION

September 17, 2025 at 7:30 p.m

City Council Chambers, El Cerrito City Hall
10890 San Pablo Avenue
El Cerrito, CA 94530

7:30 p.m. CONVENE REGULAR MEETING

- 1. ROLL CALL** – Chair Joy Navarrete; Vice Chair Erin Gillett; Members Daniel Hamilton, Courtney Helion, Michael Norwood, and Nathan Tinclair
- 2. COUNCIL/STAFF LIAISON ANNOUNCEMENTS AND REPORTS**
The City Council Liaison or City staff may report on matters of general interest to the Planning Commission, Council policies, priorities and significant actions taken by the City Council.
- 3. ORAL COMMUNICATIONS FROM THE PUBLIC**
Remarks are typically limited to three minutes per person, and may be on anything within the subject matter jurisdiction of the body. Remarks on non-agenda items will be heard first. Remarks on agenda items will be heard at the time the item is discussed.
- 4. ADOPTION OF MINUTES**
Adoption of the June 18, 2025 meeting minutes.
- 5. COMMISSIONER COMMUNICATION/CONFLICT OF INTEREST DISCLOSURE**
This time on the agenda is reserved for Commissioners to disclose communications from individuals regarding specific agenda items or to state a potential conflict of interest in relation to a specific agenda item.
- 6. PUBLIC HEARING: 6318 FAIRMOUNT AVE – USE PERMIT**
Application: PL25-0062

Applicant: Emma Pollack
Location: 6318 Fairmount Ave
APN: 504-160-015
Zoning: Theater District
General Plan: Theater District
Request: Planning Commission consideration of a Conditional Use Permit for a "Offices, Medical and Dental" land use.
CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

7. PUBLIC HEARING: 556 RICHMOND ST – USE PERMIT

Application: PL24-0044
Applicant: Ahamed Mansoor & Fathima Badurudeen
Location: 556 Richmond Street
APN: 504-062-037
Zoning: RS-5 (Single Family Residential)
General Plan: Low Density Residential
Request: Planning Commission consideration of a Conditional Use Permit for a Day Care Center land use proposed in an existing approximate 1,393 square foot building on an approximate 4,200 square foot site.
CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

8. STAFF COMMUNICATIONS

Informational reports on matters of general interest, presented by City staff.

9. ADJOURNMENT

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Staff Liaison, (510) 215-4330. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (28 CFR 35.102-35.104 ADA Title I).

Any writings or documents provided to a majority of the members regarding any item on this agenda will be made available for public inspection at 10890 San Pablo Avenue El Cerrito, CA 94530 during normal business hours.



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MINUTES

REGULAR MEETING OF THE PLANNING COMMISSION

June 18, 2025 at 7:30 p.m

City Council Chambers, El Cerrito City Hall
10890 San Pablo Avenue
El Cerrito, CA 94530

7:30 p.m. CONVENE REGULAR MEETING

- 1. ROLL CALL** – Vice Chair Erin Gillett; Members Courtney Helion, Michael Norwood, and Nathan Tinclair. Members Daniel Hamilton and Joy Navarrete had an excused absence.
- 2. COUNCIL/STAFF LIAISON ANNOUNCEMENTS AND REPORTS**
Nothing was reported.
- 3. ORAL COMMUNICATIONS FROM THE PUBLIC**
No speakers addressed the Commission.
- 4. ADOPTION OF MINUTES**
Moved/Second: Member Helion/Norwood **Action:** Passed a motion to adopt the May 21, 2025 meeting minutes
Ayes: Members Gillett, Helion, Norwood, Tinclair
Noes: None
Abstain: None
Absent: Hamilton, Navarrete
- 5. COMMISSIONER COMMUNICATION/CONFLICT OF INTEREST DISCLOSURE**
Commissioner Helion disclosed that her two stepchildren graduated from Prospect Sierra School and no longer attend the school.

6. PUBLIC HEARING: 2060 TAPSCOTT AVE – USE PERMIT

Application: PL25-0026
Applicant: Prospect Sierra School
Location: 2060 Tapscott Ave
APN: 501-370-002
Zoning: Public and Semipublic
General Plan: Institutional & Utility
Request: Planning Commission consideration of a Conditional Use Permit to amend an existing Conditional Use Permit to allow the construction of an 8' high, wrought iron fence along the boundary of a middle school campus.
CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15303 of the CEQA Guidelines, Class 3: New Construction or Conversion of Small Structures.

Associate Planner Diego Romero presented the staff report and answered questions from the Commission.

Steve Harrington of Prospect Sierra presented the project and answered questions from the Commission.

The public hearing was opened

No speakers addressed the Commission

The public hearing was closed

Moved/Second: Member Tinclair/Norwood. **Action:** Passed a motion to allow the construction of an 8' high wrought iron fence with amendment allow existing chain link fencing to be replaced with 8' wrought iron fencing provided it is in the same location.

Ayes: Members Gillett, Helion, Norwood, Tinclair

Noes: None

Abstain: None

Absent: Hamilton, Navarrete

7. PUBLIC HEARING: 960 AVIS DRIVE – USE PERMIT

Application: PL25-0025
Applicant: Prospect Sierra School
Location: 2060 Tapscott Ave
APN: 503-280-002
Zoning: Public and Semipublic
General Plan: Institutional & Utility
Request: Planning Commission consideration of a Conditional Use Permit to amend the existing Conditional Use Permit to allow the construction of an 8' high, wrought iron fence along the boundary of an elementary school campus.
CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15303 of the CEQA Guidelines, Class 3: New Construction or Conversion of Small Structures.

Associate Planner Diego Romero presented the staff report and answered questions from the Commission.

Steve Harrington of Prospect Sierra presented the project and answered questions from the Commission.

The public hearing was opened

No speakers addressed the Commission

The public hearing was closed

Moved/Second: Member Tinclair/Norwood. **Action:** Passed a motion to allow the construction of an 8' high wrought iron fence with amendment allow existing chain link fencing to be replaced with 8' wrought iron fencing provided it is in the same location.

Ayes: Members Gillett, Helion, Norwood, Tinclair

Noes: None

Abstain: None

Absent: Hamilton, Navarrete

8. STAFF COMMUNICATIONS

Planning Manager Sean Moss updated the Commission regarding the upcoming Outdoor Dining and Retail Ordinance, the ongoing Safety Element update, the progress on the El Cerrito Plaza Transit Oriented Development, and the Richmond Street Complete Streets project.

9. ADJOURNMENT

8:10 p.m.

Joy Navarrete, Chair

This is to certify that the foregoing is a true and correct copy of the minutes of the regular Planning Commission meeting of June 18, 2025, as approved by the Planning Commission.

Sean Moss, Staff Liaison



Community Development Department
Planning and Building Division
10890 San Pablo Avenue, El Cerrito, CA 94530
(510) 215-4330 | planning@ci.el-cerrito.ca.us

PLANNING COMMISSION STAFF REPORT

September 17, 2025

6318 FAIRMOUNT AVE

DETAILS

Application Number: PL25-0032

Applicant: Emma Pollack

Location: 6318 Fairmount Ave

APN: 504-160-015

Zoning: Theater District

General Plan: Theater District

Request: Planning Commission consideration of a Conditional Use Permit for a proposed "Offices, Medical and Dental" use.

CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

EXECUTIVE SUMMARY

The applicant is requesting a Conditional Use Permit to allow an "Office, Medical and Dental" land use at 6318 Fairmount Ave. "Office, Medical and Dental" land uses require a Conditional Use Permit in the Theater District (TD) zoning district in the San Pablo Avenue Specific Plan area.

The existing building is 1,306 square feet in size and was most recently used as a dental office which operated until approximately 2022. The building is proposed to be a dental office which would be open Monday through Friday from 8:00 a.m. to 6:00 p.m.

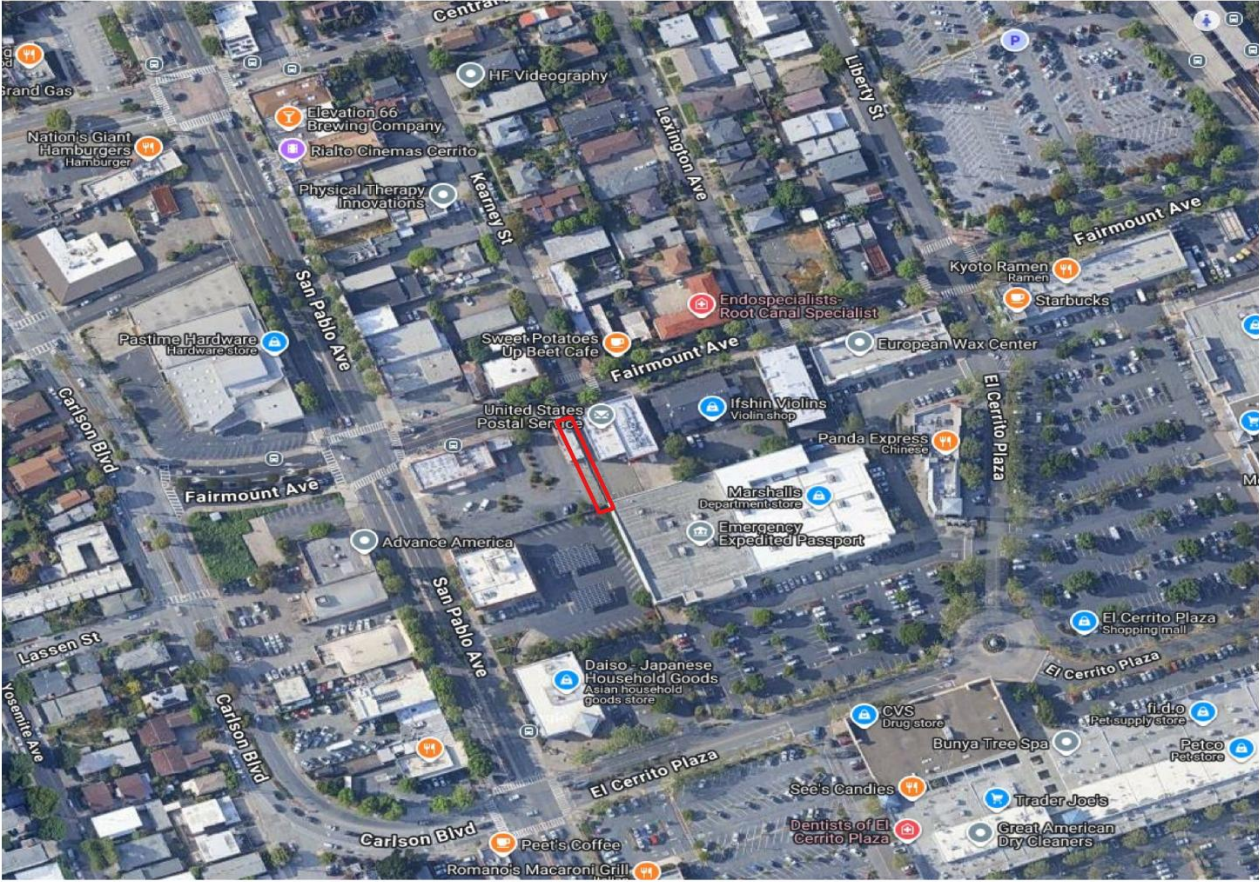
Based on the evidence and analysis contained in this report, staff is recommending approval of the Conditional Use Permit.

Background

Site Location and Layout

The project site is located at 6318 Fairmount Ave. The site consists of one parcel (APN 504-160-015), is approximately 3,000 square feet in size, and contains an existing 1,306 square feet building. The project site is located in the Theater District (TD) zoning district in the San Pablo Avenue Specific Plan area. Roughly half of the site is building area with the rest of the site devoted to parking. The site has street access from Fairmount Ave.

Vicinity Map



Site Photo



View from Fairmount Ave

Adjacent Land Uses

North: Theater District (TD) Zoning and General Plan designation. Commercial uses.

East: Theater District (TD) Zoning and General Plan designation. Commercial uses.

South: Theater District (TD) Zoning and General Plan designation. Commercial uses.

West: Transit Oriented Higher Intensity Mixed Use (TOHIMU) Zoning and General Plan designation. Commercial uses.

Analysis

Project Description

The applicant is requesting a Conditional Use Permit to allow a "Office, Medical and Dental" land use at 6318 Fairmount Ave. The applicant is proposing a dental office which would be open Monday through Friday from 8:00 a.m. to 6:00 p.m. At peak times, the applicant anticipates approximately 7 to 10 individuals on-site at any time, including staff and clients.

The project proposes minimal changes to the building as most of the proposed work will be done on the inside of the building. The site currently contains 5 parking spaces. Pursuant to AB 2097 no parking is required for this site as it is less than a half mile from a major transit stop. The applicant is not proposing any changes to the building or the site.

The existing building is 1,306 square feet in size and was constructed in 1960. The applicant is not proposing any changes to the building. The building was most recently used as a dental office but has not been used as one for more than 12 months. The building contains a lobby, a staff lounge, 3 examination rooms, and one bathroom. Pursuant to FBC Table 01 of the SPASP, "Office, Medical and Dental" land uses require a Conditional Use Permit in the Theater District (TD) zoning district.

General Plan Compliance

The project is consistent with and will implement the following policies of the El Cerrito General Plan:

Policy LU4.1: Mixture of Uses. Encourage a mix of uses that promotes such community values as convenience, economic vitality, fiscal stability, public safety, a healthy environment, and a pleasant quality of life.

The project will create a dental office supporting El Cerrito residents and the larger community. The use permit will allow the continued commercial use of the site and will add to the mixture of uses in the Fairmount Avenue commercial district.

CD4.1: Compatibility in Building Scale. Avoid big differences in building scale and character between developments on adjoining lots.

The project proposes no changes to the site and no changes to building, and as such the proposed project will remain a similar scale as the existing site.

Environmental Review

This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

Public Notice

The required public notice for the project was published in the East Bay Times and mailed to owners of property within 300 feet of the project site on or before September 3, 2025. No public comments were received prior to the publication of this report.

Required Findings

Pursuant to San Pablo Avenue Specific Plan Section 2.02.06.05.03, a Conditional Use Permit shall only be granted if the Planning Commission finds that the proposal as submitted, modified, and/or conditioned conforms to all the following criteria:

1. The location, size, design, and operating characteristics of the proposed development will be harmonious and compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.

The proposed dental office is located on Fairmount Ave. This neighborhood consists of retail, restaurant, and commercial service land uses, and nearby apartments, single-family homes. The proposed business will operate between 8:00 a.m. and 6:00 p.m. The 3,000-square foot site is developed with a one-story, 1,306-square foot building that was previously a dental office. The scale and operations of the proposed business are consistent with other businesses in this commercial area. The site previously houses a dental office. The applicant does not propose any changes to the site at this time, and it will remain compatible with the surrounding area.

2. The location and design of the proposal will provide a convenient and functional living, working, shopping, or civic environment that will be an attractive amenity for the City.

The project will create a dental office, adding new, convenient medical services to El Cerrito. The use permit will allow the continued use of the property as an active business.

3. The proposal is consistent with the purposes of the Transect Zone where it is located and conforms in all significant respects with the Specific Plan, El Cerrito General Plan, and with any other applicable policy or plan adopted by the City Council.

Upon approval of this conditional use permit the use would be permitted in the e Theater District (TD) zoning district. The proposed project will implement the following policies of the El Cerrito General Plan: LU1.1: Neighborhood Character, and CD4.1: Compatibility in Building Scale.

Staff Recommendation

Based on the information contained in this report, staff recommends approval of Planning Application No. PL25-0062, as conditioned by the draft resolution in Attachment 1.

Proposed Motion

Move adoption of Planning Commission Resolution PC2025-06 granting a Conditional Use Permit for Planning Application No. PL25-0062: allowing an “Offices, Medical and Dental” use in the Theater District.

Appeal Period

Within ten (10) working days after the date of the decision, the Planning Commission action may be appealed to the City Council.

Attachments

1. Draft Resolution
2. Project Plans

Planning Commission Resolution PC 2025-06

APPLICATION NO. PL25-0062

A RESOLUTION OF THE CITY OF EL CERRITO PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT FOR AN OFFICES, MEDICAL AND DENTAL LAND USE TO BE LOCATED AT 6318 FAIRMOUNT AVENUE

WHEREAS, the site is located at 6318 Fairmount Avenue;

WHEREAS, the existing Assessor's Parcel Number of the site is 504-160-015;

WHEREAS, the site is located within the San Pablo Avenue Specific Plan Area;

WHEREAS, the General Plan land use classification of the site is Theater District;

WHEREAS, the zoning district of the site is Theater District;

WHEREAS, on August 8, 2025, Emma Pollack submitted an application for a Conditional Use Permit for an Offices, Medical and Dental land use;

WHEREAS, the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities; and

WHEREAS, on September 17, 2025, the Planning Commission, after due consideration of all evidence and reports offered for review, does find and determine the following:

1. The proposed dental office is located on Fairmount Ave. This neighborhood consists of retail, restaurant, and commercial service land uses, and nearby apartments, single-family homes. The proposed business will operate between 8:00 a.m. and 6:00 p.m. The 3,000-square foot site is developed with a one-story, 1,306-square foot building that was previously a dental office. The scale and operations of the proposed business are consistent with other businesses in this commercial area. The site previously houses a dental office. The applicant does not propose any changes to the site at this time, and it will remain compatible with the surrounding area.
2. The project will create a dental office, adding new medical services to El Cerrito. The use permit will allow the continued use of the property as an active business.
3. Upon approval of this conditional use permit the use would be permitted in the e Theater District (TD) zoning district. The proposed project will implement the following policies of the El Cerrito General Plan: LU1.1: Neighborhood Character, and CD4.1: Compatibility in Building Scale..

NOW, THEREFORE, BE IT RESOLVED that after careful consideration of all maps, facts, exhibits, correspondence, and testimony, and other evidence submitted in this matter, and, in consideration of the findings, the El

Cerrito Planning Commission hereby approves Application No. PL25-0062, subject to the following conditions:

Planning Division:

1. The project will be constructed substantially in conformance with the plans received by the City on August 8, 2025. Minor changes may be approved by the Zoning Administrator. All improvements shall be installed in accordance with these approvals. Once constructed or installed, all improvements shall be maintained as approved.
2. If the applicant constructs buildings or makes improvements in accordance with these approvals but fails to comply with any of the Conditions of Approval or limitations set forth in these Conditions of Approval and does not cure any such failure within a reasonable time after notice from the City of El Cerrito, then such failure shall be cause for non-issuance of a certificate of occupancy, revocation or modification of these approvals or any other remedies available to the City.
3. These Conditions of Approval shall apply to any successor in interest in the property and Applicant shall be responsible for assuring that the successor in interest is informed of the terms and conditions of this approval.
4. If not exercised this Conditional Use Permit approval will expire two years after the date of this approval pursuant to El Cerrito Municipal Code Section 19.32.100.
5. The project shall be consistent with all applicable requirements of the El Cerrito Fire Department, Police Department, and Operation and Environmental Services Division, and the applicant shall secure all required permits prior to the commencement of construction.

Building Division:

6. Please be aware that, as per CBC sec. 105.1, a Building Permit is required to be obtained by the owner or owner's authorized agent who intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by the California Building Code, or to cause any such work to be performed.
7. All work shall comply with all applicable laws, ordinances, regulations, and standards (LORS) and the current and effective California Building Code (CBC) series to include all relevant references, standards, and industry requirements. The City of El Cerrito Municipal Code and amended code sections shall be observed as well.
8. All construction documents shall be prepared by licensed and registered California Design Professionals. All scopes will be required to have the relevant and corresponding licensed professional(s) identified i.e.: Structural Engineer for structural design, Civil Engineer for site work, drainage, and improvements, etc. All Construction Documents shall have valid stamps and signatures.

9. Commercial structures that are not specifically exempted by CBC 11B-203 are subject to applicable Accessibility requirements set in CBC 11B. Please ensure that at time of permit submittal, to show how the existing structure and site complies with CBC section 11B- 202.4.
10. At time of permit submittal, please verify and show the complete egress path of travel from all occupied spaces to the public way and/or safe dispersal areas. Ensure to show separation of exits if more than one is required along with common path of travel distances.
11. At time of permit submittal, please clarify and provide a statement on the plans if the proposed space falls under the licensing requirements of OSHPD 3. If so, please ensure to comply with the requirements outlined in Chapter 12 of the CBC.

CERTIFICATION

I certify that this resolution was adopted by the El Cerrito Planning Commission at a regular meeting held on September 17, 2025, upon motion of Commissioner _____, second by Commissioner _____:

AYES:

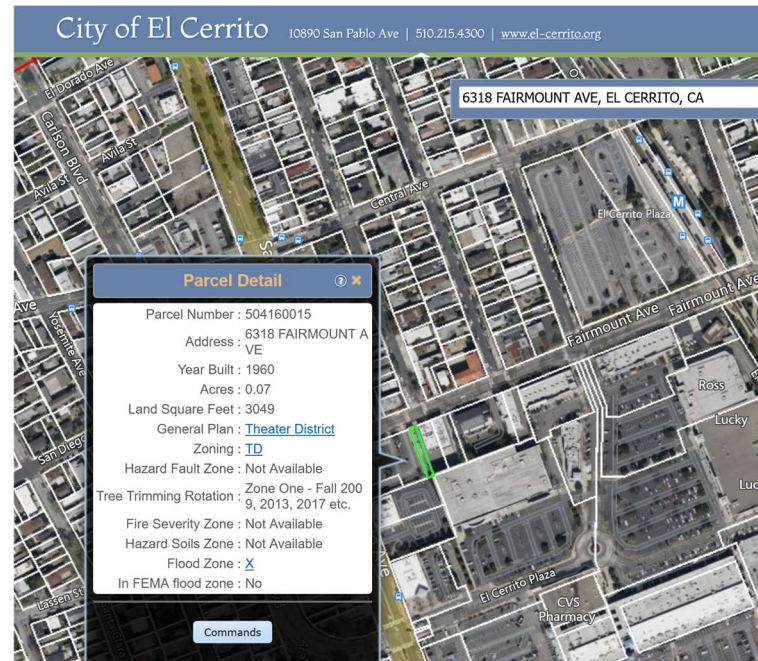
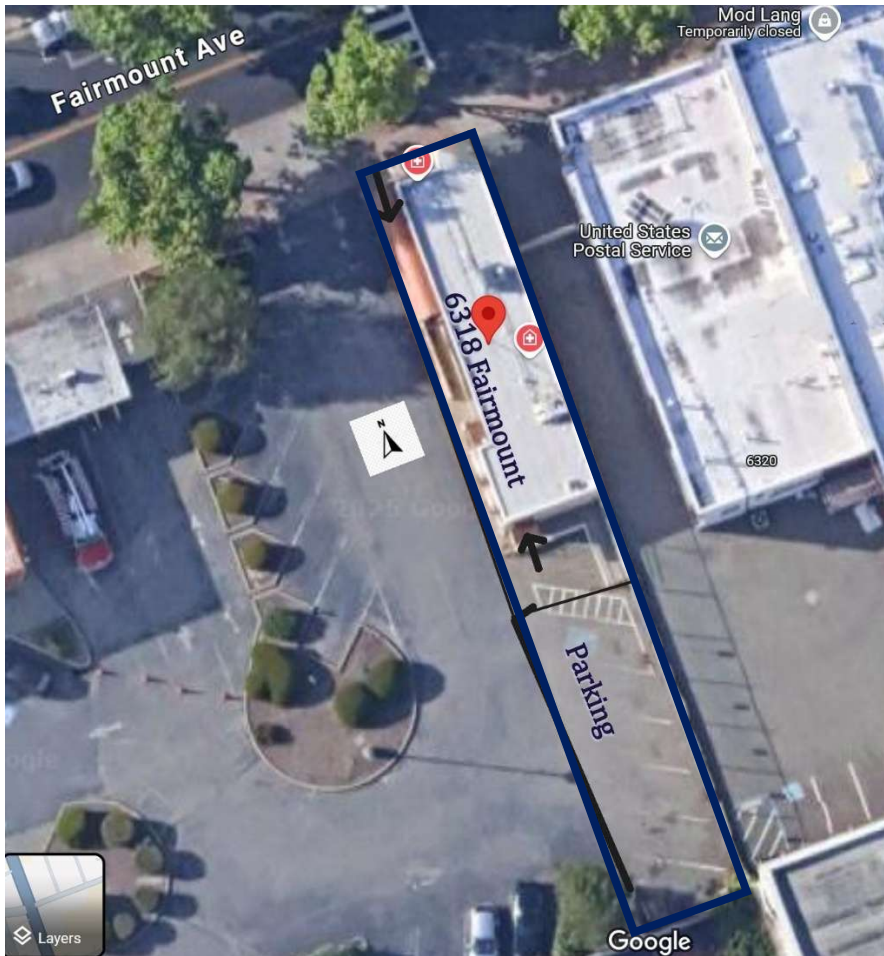
NOES:

ABSTAIN:

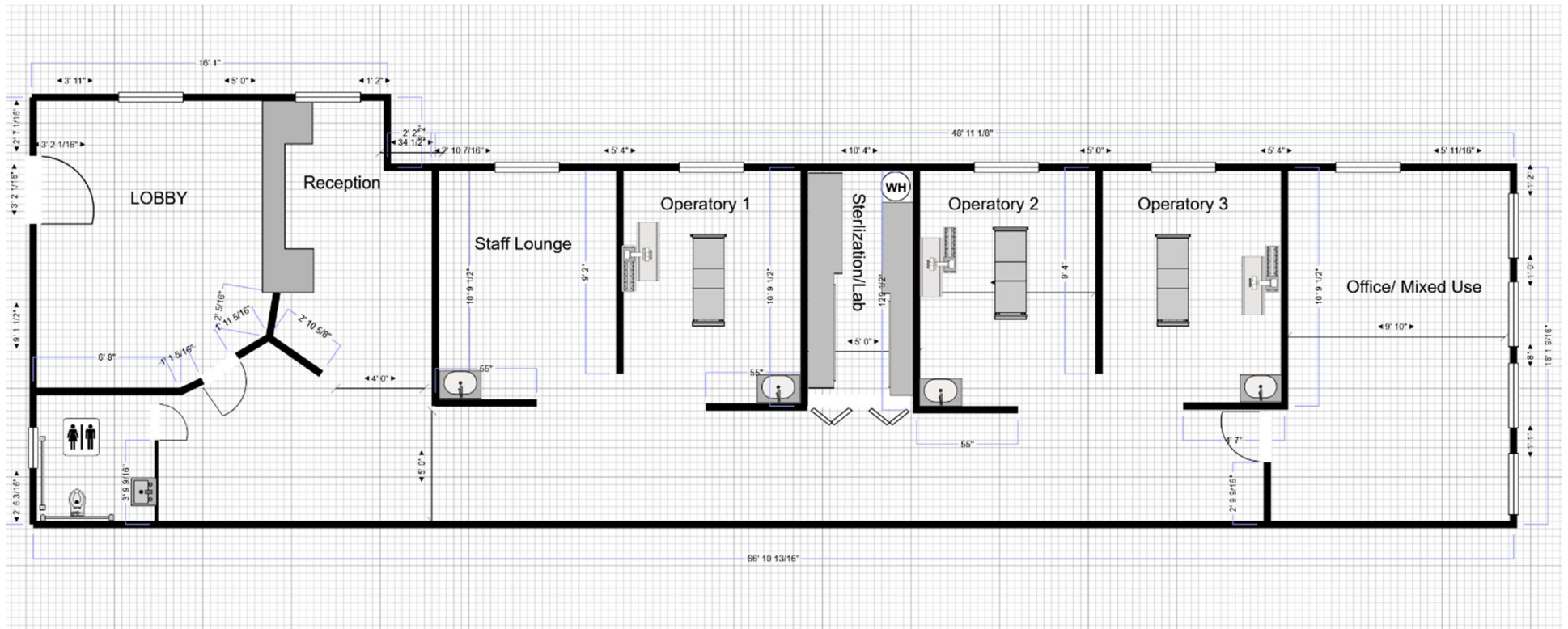
ABSENT:

Sean Moss, AICP
Planning Manager

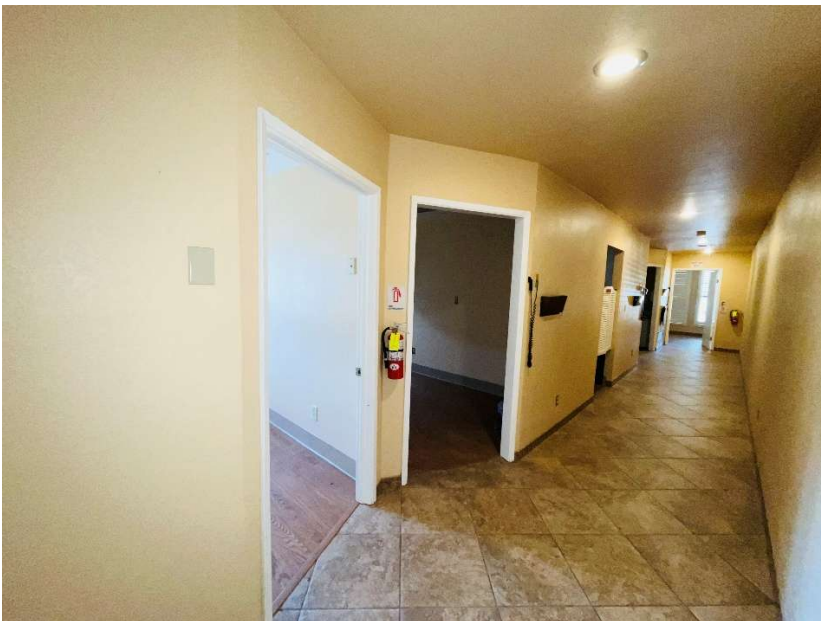
6318 Fairmount Ave. – SITE PLAN



6318 Fairmount Ave. - FLOOR PLAN



6318 Fairmount Ave. - PHOTOS





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PLANNING COMMISSION STAFF REPORT
September 17, 2025
556 RICHMOND STREET

DETAILS

Application Number: PL24-0044

Applicant: Ahamed Mansoor & Fathima Badurudeen

Location: 556 Richmond Street

APN: 504-062-037

Zoning: RS-5 (Single Family Residential)

General Plan: Low Density Residential

Request: Planning Commission consideration of a Conditional Use Permit for a Day Care Center land use proposed in an existing approximate 1,393 square foot building on an approximate 4,200 square foot site.

CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

EXECUTIVE SUMMARY

The proposal is for the creation of a Day Care Center land use at an existing approximate 1,393 square foot building on an approximate 4,200 square foot site. The proposed use will accommodate students that are 2 years old to 6 years old. Hours will be year-round Monday through Friday between 8:00 AM to 5:30 PM. Up to 25 children and 4 onsite employees are anticipated. The proposed land use requires Conditional Use Permit approval when located in the RS-5 single family zoning district.

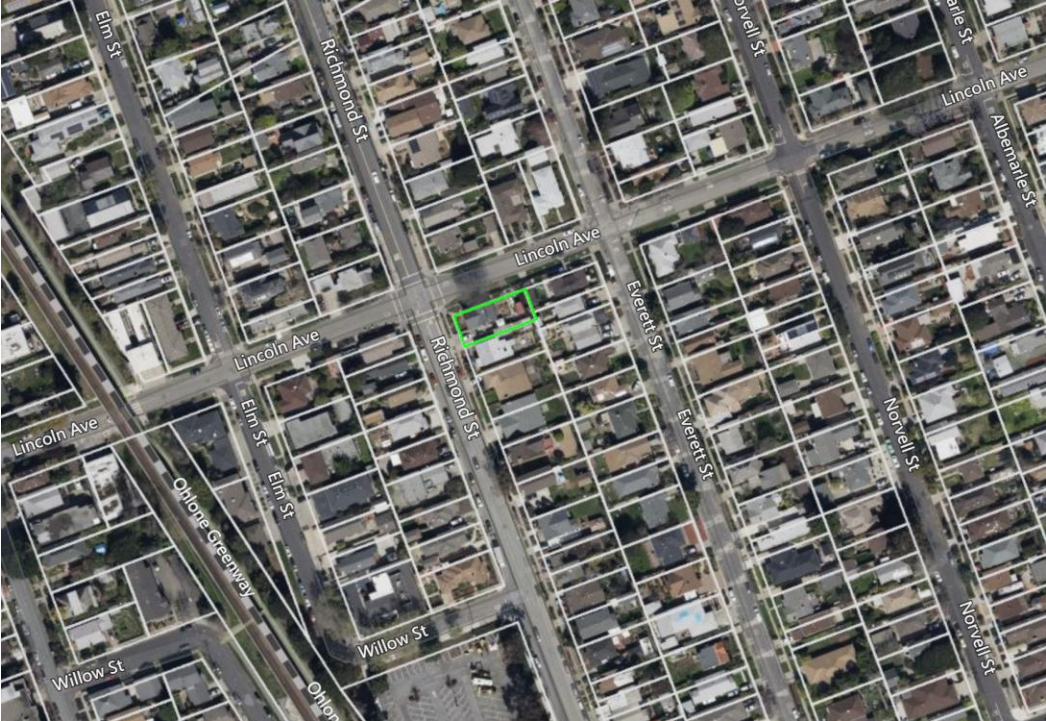
Based on the evidence and analysis contained in this report, staff is recommending approval of the Conditional Use Permit.

Background

Site Location and Layout

The project site is located at 556 Richmond Street at the corner of Richmond Street and Lincoln Avenue. The site consists of one parcel (APN 504-062-037), is approximately 4,200 square feet in size, and contains an existing 1,393 square foot building, which has been previously used as a single-family home. The site is located across the street from existing multi-family uses and abutting properties include existing single-family houses. The site is located less than 1,000 feet north of the El Cerrito Plaza BART station.

Vicinity Map



Site Photo



Adjacent Land Uses

North: Single Family Residential (RS-5) Zoning and Low Density Residential General Plan designation.
Single family house.

East: Single Family Residential (RS-5) Zoning and Low Density Residential General Plan designation.
Single family house.

South: Single Family Residential (RS-5) Zoning and Low Density Residential General Plan designation.
Single family house.

West: Duplex Residential (RD) Zoning and Medium Density Residential General Plan designation.
Single family house.

Analysis

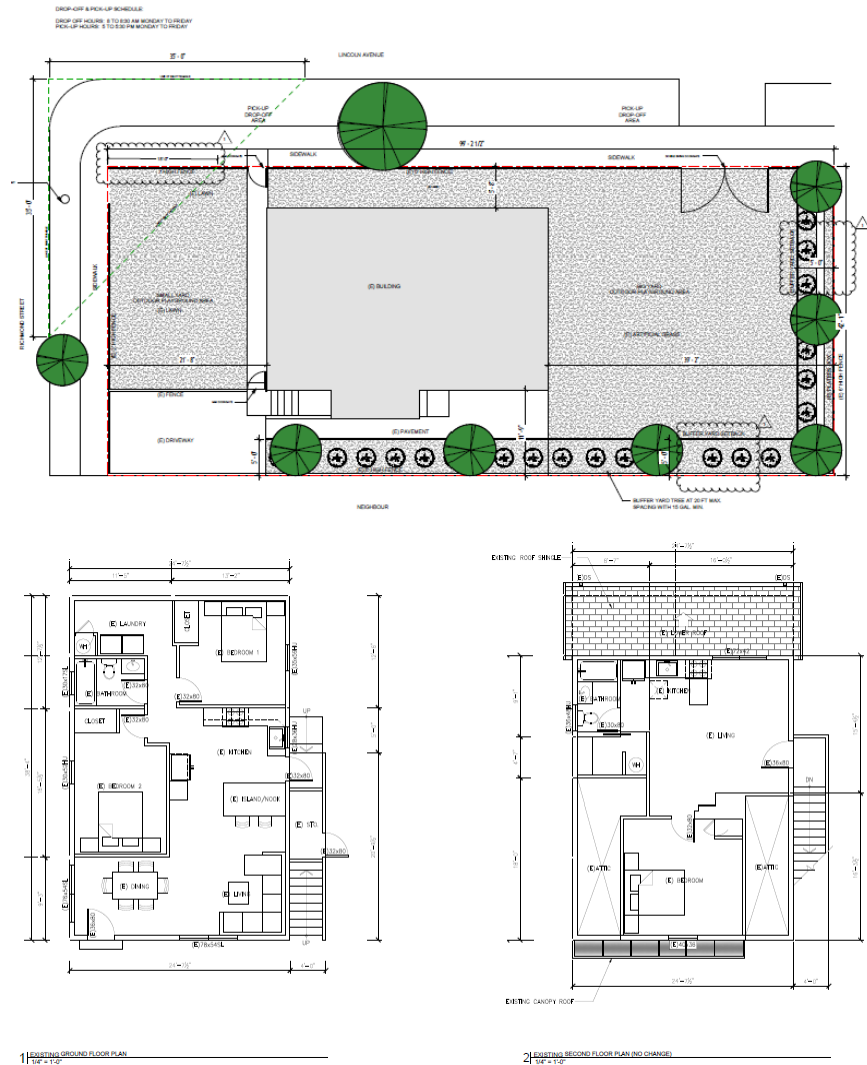
Project Description

Land Use

The proposed Day Care Center use will accommodate students that are 2 years old to 6 years old. Hours will be year-round Monday through Friday between 8:00 a.m. and 5:30 p.m. Children arriving and leaving by car will be dropped off and picked up in a designated passenger loading area to be directly adjacent to the building on Lincoln Avenue. The preschool will be licensed for up to 25 children, and direct care will be provided by four on-site staff. When located in the RS-5 single Family zoning district, the Day Care Center land use type requires a Conditional Use Permit and is subject to the specific use standards of Zoning Ordinance Section 19.20.060, as detailed below.

Site Plan and Floor plan

The existing 1,393 square foot building is located in the front half of the approximately 4,200 square foot lot. The rear half of the lot is proposed to be the outdoor play area for the day care center, and a new proposed gate and fence would separate the play area from the street. Two classrooms are proposed in the building with two bathrooms, and a kitchen. The second floor is proposed to be used as a staff lounge area. The project plans are included as Attachment 2.



Access

Staff and students would access the building through the entrance on Richmond Street and Lincoln Avenue, and parents would utilize the passenger loading area expected to be along the frontage of the project site along Lincoln Avenue. A gate and pathway would provide direct access from Lincoln Avenue to the front building entrance.

Pursuant to Assembly Bill 2097 (AB 2097) a public agency shall not impose or enforce any minimum automobile parking requirement on a residential, commercial, or other development project if the project is located within one-half mile of transit stops. The project site is within one-half mile of the El

Cerrito Plaza BART station and multiple frequent bus stops. Irrespective of AB 2097, one non-required parking space is being proposed in the existing driveway, for employee use.

The project includes a passenger loading and drop off zone along the Lincoln Avenue frontage of the project site which has been reviewed and deemed adequate by Public Works Department staff. A proposed condition of approval stipulates that the applicant shall submit an application to the Public Works Department to facilitate installation of the passenger loading area. The project is proposing to have one staff member assigned to facilitate curbside drop-off and pick-up and to instruct all parents that if the passenger loading spaces are occupied then they must continue past the school and go around the block to avoid causing delays to through traffic on Kearney Street. According to the transportation analysis (Attachment 3) submitted by the applicant, prepared by Abrams Associates, there should be no impacts to through traffic on Lincoln Avenue and The project is not anticipated to cause any significant impacts on surrounding intersections as the volume of trips generated is very low and trips would be distributed onto the various streets that provide access to the area.

A continuous network of sidewalks exists in the project vicinity. Area roadways (as well as the Ohlone Greenway) would provide access for bicyclists. The El Cerrito Plaza BART station is located just under 1,000 feet east of the project site. AC Transit provides bus service to the project site with the nearest bus stops at the BART station and at the intersections of San Pablo Avenue with Lincoln Avenue, each about a few blocks from the project site.

Zoning Ordinance

The project is subject to the use-specific standards at Zoning Ordinance Section 19.20.060 (Day Care Centers).

- A. Landscaping and Buffer Yards. Landscaping and buffer yards adjacent to residential districts shall be provided for day care centers, pursuant to the standards prescribed by Chapter 19.25, Landscaping and Buffer Yards. In addition to the requirements of Chapter 19.25, a periphery wall, constructed of wood or masonry, shall be provided for purposes of securing outdoor play areas and screening the site and shall achieve 75 percent opacity. Chain metal fencing or barbed wire is prohibited.

The proposed outdoor play area is located at the rear of the property. The nearest residences are located directly to the east and south of the property. Pursuant to Section 19.25.090, a 5 ft buffer is required for Public and Semi-Public Uses proposed next to existing residential uses. The project is proposing a 5 ft landscaped buffer yard along the south and east property lines. The other side of the outdoor play area (north) is adjacent to Lincoln Ave. The rear yard is secured with an six-foot wood fence.

- B. Hours of Operation. 7:00 a.m. to 7:00 p.m., Monday through Friday.

The proposed hours of operation are between 8:00 a.m. and 5:30 p.m. Monday through Friday with staff arriving and departing approximately 30 minutes outside the hours of operation. The hours will not exceed the maximum hours stipulated in Section 19.20.060.

- C. Noise. Outdoor play shall not occur before 8:00 a.m. when the site is located within or adjacent to a residential district. Day care centers shall comply with the requirements of the City's noise ordinance limits.

The project is within a residential district (RS-5). The proposed project will comply with this requirement and outdoor play will not occur before 8:00 a.m.

- D. Passenger Loading and Drop-off. One curbside passenger loading zone designated by the City shall be located near the entrance of the day care center or in an off-street location acceptable to staff.

The project includes a passenger loading and drop off zone along the Lincoln Avenue frontage of the project site which has been reviewed and deemed adequate by Public Works Department staff. The Conditions of Approval require the applicant to submit an application to facilitate installation of this loading zone. In addition, the project is proposing to have one staff member assigned to facilitate curbside drop-off and to instruct parents not to obstruct through traffic on Lincoln Avenue. According to the transportation analysis (Attachment 3) submitted by the applicant there should be no impact to through traffic on Lincoln Ave.

- E. Exceptions. Exceptions to these standards shall be granted by Conditional Use Permit.

The applicant is not seeking any exceptions to these standards.

General Plan Compliance

The project is consistent with and will implement the following policies of the El Cerrito General Plan:

Policy LU4.2: Availability of Goods and Services. Provide for economic development that assures the availability and diversity of resident-serving goods and services.

The project will provide a day care service supporting both El Cerrito residents and those commuting to the El Cerrito area. In this way, the project supports economic development over the short and long-terms.

Policy LU6.2: Circulation Alternatives. To the extent possible, encourage alternatives to the use of private automobiles. Encourage a full range of transportation options – driving, transit, walking and biking – without allowing any one to preclude the others. On San Pablo Avenue, in many constrained right-of-ways, it is not possible to provide optimum facilities for all user groups and in the event that trade-offs are necessary, transit users and pedestrians are the highest priority.

The location of the project provides convenient access to frequent public transit along San Pablo Avenue as well as the El Cerrito Plaza BART station.

Environmental Review

This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

Public Notice

The required public notice for the project was published in the East Bay Times and mailed to owners of property within 300 feet of the project site on or before September 3, 2025. Two public comments (Attachments 4 and 5) were received which raised concerns about the proposed project.

Required Findings

In order to approve the Conditional Use Permit, the Planning Commission must make the following findings, contained in Section 19.34.040 of the El Cerrito Municipal Code.

1. The location, size, design, and operating characteristics of the proposed development will be harmonious and compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.

The proposed day care center is situated less than 1,000 feet from the El Cerrito Plaza BART station. The 500 block of Richmond Street consists of single-family homes. Retail, restaurant, and commercial service uses are provided in the neighborhood along San Pablo Ave and in the El Cerrito Plaza shopping center located 3 block south of the property.

The proposed childcare center will operate between 8:00 a.m. and 5:30 p.m., these hours of operation are consistent with Zoning Ordinance Section 19.20.060(B).

The 4,200-square foot site is developed with a one-story, 1,393-square foot building that originally was a single-family residence. On-site parking is not required pursuant to AB 2097, But one non-required on-site employee parking space will be provided. The project includes a passenger loading and drop off zone along the Lincoln Avenue frontage of the project site which has been reviewed and deemed adequate by Public Works Department staff. In addition, the project is proposing to have one staff member assigned to facilitate curbside drop-off and to instruct parents not to obstruct through traffic on Lincoln Avenue.

For all the above reasons, the project will be harmonious and compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.

2. The location and design of the proposal will provide a convenient and functional living, working, shopping, or civic environment that will be an attractive amenity for the City.

The project will result in a new daycare center at a location convenient for both residents and employees within El Cerrito. This convenience is achieved by the site's accessibility by multiple transportation modes including by walking, bicycling, transit (AC Transit and BART), and automobiles. The project also contributes to a functional living, working, and civic environment by providing a service vital to a functional economy and community. Providing this service in El Cerrito increases the ability of parents and guardians to participate in the workforce and civic life.

3. The proposal is consistent with the purpose of the district where it is located and conforms in all significant respects with the El Cerrito General Plan and with any other applicable plan adopted by the City Council.

The project is consistent with the intent of the RS-5 zoning district and complies with all requirements specific to daycare centers contained in Section 19.20.060. The proposed project will implement the following policies of the El Cerrito General Plan: LU4.2: Availability of Goods and Services, and LU6.2: Circulation Alternatives.

Staff Recommendation

Based on the information contained in this report, staff recommends approval of Planning Application No. PL24-0044, as conditioned by the draft resolution in Attachment 1.

Proposed Motion

Move adoption of Planning Commission Resolution PC2025-07 granting Use Permit approval to Planning Application No. PL24-0044: a new Day Care Center Land Use to be located at 556 Richmond Street.

Appeal Period

Within ten (10) working days after the date of the decision, the Planning Commission action may be appealed to the City Council.

Attachments

1. Draft Resolution
2. Project Plans
3. Transportation Analysis
4. Public Comment, Daniele Panicacci
5. Public Comment, Marisa Singer & Reed O'Brien

Planning Commission Resolution PC 2025-07

APPLICATION NO. PL24-0044

A RESOLUTION OF THE CITY OF EL CERRITO PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT FOR A NEW DAY CARE CENTER LAND USE TO BE LOCATED AT 556 RICHMOND STREET

WHEREAS, the site is located at 556 Richmond Street;

WHEREAS, the existing Assessor's Parcel Number of the site is 504-062-037;

WHEREAS, the General Plan land use classification of the site is Low Density Residential;

WHEREAS, the zoning district of the site is RS-5 (Single Family Residential);

WHEREAS, on May 9, 2024, Ahamed Mansoor & Fathima Badurudeen submitted an application for a Conditional Use Permit for a Daycare Center land use;

WHEREAS, the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities; and

WHEREAS, on September 17, 2025, the Planning Commission, after due consideration of all evidence and reports offered for review, does find and determine the following:

1. The proposed day care center is situated less than 1,000 feet from the El Cerrito Plaza BART station. The 500 block of Richmond Street consists of single-family homes. Retail, restaurant, and commercial service uses are provided in the neighborhood along San Pablo Ave and in the El Cerrito Plaza shopping center located 3 block south of the property. The proposed childcare center will operate between 8:00 a.m. and 5:30 p.m., these hours of operation are consistent with Zoning Ordinance Section 19.20.060(B). The 4,200-square foot site is developed with a one-story, 1,393-square foot building that originally was a single-family residence. On-site parking is not required pursuant to AB 2097, But one non-required on-site employee parking space will be provided. The project includes a passenger loading and drop off zone along the Lincoln Avenue frontage of the project site which has been reviewed and deemed adequate by Public Works Department staff. In addition, the project is proposing to have one staff member assigned to facilitate curbside drop-off and to instruct parents not to obstruct through traffic on Lincoln Avenue. For all the above reasons, the project will be harmonious and compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.
2. The project will result in a new daycare center at a location convenient for both residents and employees within El Cerrito. This convenience is achieved by the site's accessibility by multiple transportation modes including by walking, bicycling, transit (AC Transit and BART), and automobiles. The project also contributes to a functional living, working, and civic environment by providing a service vital to a functional economy and community. Providing this service in El Cerrito increases the

ability of parents and guardians to participate in the workforce and civic life.

3. The project is consistent with the intent of the RS-5 zoning district and complies with all requirements specific to daycare centers contained in Section 19.20.060. The proposed project will implement the following policies of the El Cerrito General Plan: LU4.2: Availability of Goods and Services, and LU6.2: Circulation Alternatives.

NOW, THEREFORE, BE IT RESOLVED that after careful consideration of all maps, facts, exhibits, correspondence, and testimony, and other evidence submitted in this matter, and, in consideration of the findings, the El Cerrito Planning Commission hereby approves Application No. PL24-0044, subject to the following conditions:

Planning Division:

1. The project will be constructed substantially in conformance with the plans received by the City on August 20, 2025. Minor changes may be approved by the Zoning Administrator. All improvements shall be installed in accordance with these approvals. Once constructed or installed, all improvements shall be maintained as approved.
2. If the applicant constructs buildings or makes improvements in accordance with these approvals but fails to comply with any of the Conditions of Approval or limitations set forth in these Conditions of Approval and does not cure any such failure within a reasonable time after notice from the City of El Cerrito, then such failure shall be cause for non-issuance of a certificate of occupancy, revocation or modification of these approvals or any other remedies available to the City.
3. These Conditions of Approval shall apply to any successor in interest in the property and Applicant shall be responsible for assuring that the successor in interest is informed of the terms and conditions of this approval.
4. If not exercised this Conditional Use Permit approval will expire two years after the date of this approval pursuant to El Cerrito Municipal Code Section 19.32.100.
5. The project shall be consistent with all applicable requirements of the El Cerrito Fire Department, Police Department, and Building Division, and the applicant shall secure all required permits prior to the commencement of construction.

Public Works Department:

6. The applicant shall ensure adequate sight distance for vehicles exiting the driveway and for pedestrians on the adjacent sidewalk. This includes ensuring that trees and landscaping along the street side of the project on Richmond Street would not restrict sight distance. This also means keeping groundcover no higher than two feet and tree canopies trimmed up to at least six feet from the ground.
7. The applicant shall submit an application to the Public Works Department, in compliance with El Cerrito Municipal Code section 19.20.060(D), in which the applicant shall designate the passenger

loading area in the public right of way as identified in the Traffic Analysis by Abrams Associates, dated December 5, 2024.

8. The applicant shall designate one staff member to facilitate curbside drop-off and pick-up and to instruct all parents that if the passenger loading spaces are occupied (and they cannot find space to pull out of the traveled way) then they must continue past the school and go around the block to avoid causing delays to through traffic on Lincoln Avenue.

CERTIFICATION

I certify that this resolution was adopted by the El Cerrito Planning Commission at a regular meeting held on September 17, 2025, upon motion of Commissioner _____, second by Commissioner _____:

AYES:

NOES:

ABSTAIN:

ABSENT:

Sean Moss, AICP
Planning Manager

556 Richmond St, El Cerrito, CA 94530

AUG 2025

PROJECT NAME

556 Richmond St, El Cerrito, CA 94530

ABBREVIATIONS U.O.N.

&	And	F.A.	Fire Alarm	PL.	Plate
L	Angle	F.D.	Floor Drain	P. LAM.	Plastic Laminate
@	At	FDN.	Foundation	PLYWD.	Plywood
CL	Centerline	F.E.	Fire Extinguisher	PR.	Pair
Ø	Diameter	F.E.C.	Fire Extinguisher Cabinet	PT.	Point
#	Pound or Number	F.H.C.	Fire Hose Cabinet	P.T.D.	Paper Towel Dispenser
(E)	Existing	FIN.	Finish	PTN.	Partition
(N)	New	FIXT.	Fixture	QTY.	Quantity
(RL)	Relocated Existing	FL.	Floor	RAD.	Radius
A.B.	Anchor Bolt	FLUOR.	Fluorescent	REF.	Reference
ACOUST.	Acoustical	F.O.F.	Face of Finish	REFR.	Refrigerator
ADD.	Additional	F.O.S.	Face of Studs	RGTR.	Register
ADJ.	Adjustable	FPRF.	Fireproof	REINF.	Reinforced
A.F.F.	Above Finished Floor	F.S.	Floor Sink	REQ.	Required
A.P.	Access Panel	FT.	Foot or Feet	RESIL.	Resilient
ARCH.	Architectural	GA.	Gauge	RM.	Room
BD.	Board	GALV.	Galvanized	R.H.	Robe Hook
BKG.	Backing	G.B.	Grab bar	R.O.	Rough Opening
BLDG.	Building	GL.	Glass	S.	South
BLK.	Block	GYP.	Gypsum	S.C.	Solid Core
BLKG.	Blocking	H.C.	Hollow Core	SCHED.	Schedule
BM.	Beam	HDWD.	Hardwood	SECT.	Section
BOT.	Bottom	HDWE.	Hardware	SHR.	Shower
CAB.	Cabinet	HGT. or H.	Height	SHT.	Sheet
CEM.	Cement	H.M.	Hollow Metal	SIM.	Similar
CER.	Ceramic	HORIZ.	Horizontal	SPEC.	Specification
C.G.	Corner Guard	I.D.	Inside Diameter	SQ.	Square
C.J.	Construction Joint	INC.	Incandescent	S.ST.	Stainless Steel
CLG.	Ceiling	INFO.	Information	STD.	Standard
CL.O.	Close	INSUL.	Insulation	STL.	Steel
CLR.	Clear	INT.	Interior	STOR.	Storage
CNTR.	Counter	JT.	Joint	STR.	Structural
C.O.	Cased Opening	KIT.	Kitchen	SUSP.	Suspended
COL.	Column	LAB.	Laboratory	T.B.	Towel Bar
CONC.	Concrete	LAM.	Laminate	T.C.	Top of Curb
CONSTR.	Construction	LT.	Light	TEL.	Telephone
CONT.	Continuous	MAT.	Material	THK.	Thick
CORR.	Corridor	MAX.	Maximum	THRES.	Threshold
CPT.	Carpet	M.D.F.	Medium Density Fiberboard	T.P.B.	Telephone Panelboard
CTR.	Center	MECH.	Mechanical	TYP.	Typical
CTSK.	Countersunk	MET.	Metal	U.O.N.	Unless Otherwise Noted
DET.	Detail	MFR.	Manufacturer	VERT.	Vertical
DIA.	Diameter	MIN.	Minimum	VEST.	Vestibule
DIM.	Dimension	MISC.	Miscellaneous	V.I.F.	Verify In Field
DISP.	Dispenser	MTD.	Mounted	W.	West
DN.	Down			W.	With
DR.	Door			W.C.	Water Closet
DVA	Department of Veterans Affairs			WD.	Wood
DWG.	Drawing			W.O.	Where Occurs
E.	East			W/O	Without
EA.	Each			WP.	Waterproof
E.B.	Expansion Bolt			WT.	Weight
E.J.	Expansion Joint			W.R.	Water Resistant
EL.	Elevation				
ELEC.	Electrical				
ELEV.	Elevator				
EMER.	Emergency				
ENCL.	Enclosure				
ENGR.	Engineer				
E.P.B.	Electrical Panelboard				
EQ.	Equal				
EQPT.	Equipment				
E.W.C.	Electric Water Cooler				
EXP.	Expansion				
EXST.	Existing				
EXT.	Exterior				

SCOPE OF WORK

CUP APPLICATION FOR SINGLE FAMILY RESIDENCE TTO BE CONVERTED TO BUSINESS DAY CARE CENTER.

SYMBOLS U.O.N.

A2-1 ← DRAWING NUMBER
← GROUP NUMBER
← DISCIPLINE PREFIX

DOOR SYMBOL
1 ← DOOR MARK
2 ← HARDWARE GROUP

WINDOW TYPE
1.1

DETAIL
1 ← DETAIL IDENTIFICATION
9-1 ← SHEET WHERE DETAIL IS DRAWN.

INTERIOR ELEVATION(S)
ELEVATION IDENTIFICATION (UNFOLD ELEVATIONS CLOCKWISE)
1 ← NO ARROWS MEANS ELEVATION NOT SHOWN.)
5-1 ← SHEET WHERE ELEVATION IS DRAWN.

SECTION
1 ← SECTION IDENTIFICATION
3-1 ← SHEET WHERE DETAIL IS DRAWN.

REVISION
1 ← CLOUD AROUND REVISION
OPTIONAL

OFFICE
B12 ← ROOM IDENTIFICATION, TYPE 2
ROOM NAME
ROOM NUMBER
DIMENSION LINES

(E) WALL OR PARTITION
TYPICAL PARTITION

(N) TWO-HOUR FIRE RATED RESISTING WALL OR PARTITION
SPRINKLER HEAD
EXIT SIGN
WALL CEILING
SMOKE DETECTOR
PENDANT LIGHTING FIXTURE
SURFACE MOUNTED LIGHTING FIXTURE
RECESSED MOUNTED LIGHTING FIXTURE
COVE LIGHTING FIXTURE
LIGHTING FIXTURE 24" X 24"
LIGHTING FIXTURE 24" X 48"
LINEAR LIGHTING FIXTURE, SEE ELECTRICAL
REGISTER, EXHAUST OR RETURN
DIFFUSERS, SUPPLY
AREA NOT IN SCOPE OF WORK

APPLICABLE BUILDING CODES

2022 California Building Code (CBC)
2022 California Residential Code (CRC)
2022 California Electrical Code (CEC)
2022 California Mechanical Code (CMC)
2022 California Plumbing Code (CPC)
2022 California Energy Code
2022 California Fire Code
2022 California Green Building Standards Code (CALGreen)

PROJECT DATA

ADDRESS: 556 Richmond St, El Cerrito, CA 94530
OWNER(S): AHMED MANSOOR & FATHIMA BADURUDEEN
CONTACT:

EMAIL:

PARCEL NUMBER: 504-062-037
LOT SIZE: 4,200 sqft
USE CODE DESCRIPTION: Single Family
CONSTRUCTION TYPE: V-B
OCCUPANCY GROUP TYPE: RS-5
FIRESPRINKLERED: NO

NUMBER OF UNITS: 1
NUMBER OF STORIES: 2
EXISTING FLOOR AREA: 1,393 sqft (NO CHANGE)

NOTE:
AREA CALCULATION AS SHOWN IS INTENDED FOR PERMIT APPLICATION PURPOSES ONLY & SHALL NOT BE USED FOR SELLING OR LEASING PURPOSES. FINAL SQ.FT & FINISHED DIMENSIONS MAY VARY FROM THESE PLANS DUE TO CONSTRUCTION VARIABLES.

GENERAL NOTES

- LOCATIONS OF ALL UTILITY LINES (DUCTS, PIPES, CONDUITS, AND OTHER OVERHEAD OBSTRUCTIONS) SHOWN ARE APPROXIMATE. COORDINATE ALL SUPPORT SYSTEMS SO AS NOT TO INTERFERE WITH EACH OTHER. PROVIDE ADDITIONAL BRACING AS NECESSARY TO COMPLETE THE INSTALLATION AT NO INCREASE TO THE CONTRACT SUM.
- PROVIDE SEPARATE SHOP DRAWINGS FOR FIRE ALARM SYSTEM. SUBMIT FIRE ALARM SUBMITTAL INCLUDING SHOP DRAWINGS AND PRODUCT DATA FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. PROVIDE LISTING NUMBER FOR ALL COMPONENTS IN SUBMITTAL.
- PROVIDE SEPARATE SHOP DRAWINGS FOR FIRE SPRINKLER SYSTEM. SUBMIT SPRINKLER SYSTEM SUBMITTAL INCLUDING SHOP DRAWINGS, PRODUCT DATA, HYDRAULIC CALCULATIONS, ETC. FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. SPRINKLER SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH TITLE 24, CCR PART 2, CHAPTER 38 AND NFPA 13, 2007 EDITION. AT ACOUSTICAL CEILING TILE LOCATIONS, LOCATE ALL SPRINKLER HEADS AT CENTER OF CEILING TILES, UNLESS OTHERWISE NOTED.
- IN ALL CONSTRUCTION AREAS, SEAL ALL EXISTING AND NEW PENETRATIONS SUCH AS DUCTS, CONDUITS, PIPES, ETC. AT EXISTING AND NEW FIRE RESISTIVE RATED PARTITIONS AND FLOOR/CEILING ASSEMBLIES, WHETHER SHOWN OR NOT AT NO CHANGE TO THE CONTRACT SUM. USE SEALANT TYPE TO MAINTAIN PROPER FIRE RESISTIVE RATING OF THE PENETRATED ASSEMBLIES. ALL PENETRATIONS AT FIRE RESISTIVE RATED PARTITIONS OR FLOOR/CEILING ASSEMBLIES SHALL BE IN ACCORDANCE WITH THE APPROPRIATE U.L. LISTED APPROVED SYSTEMS.
- IF CONTRACTOR PROPOSED ALTERNATE CONSTRUCTION DETAILS AND ARE REVIEWED BY THE CLIENT AND ARCHITECT, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS AND TIME DELAYS RESULTING FROM CONTRACTOR'S PROPOSED ALTERNATE CONSTRUCTION DETAILS WHICH AFFECT OTHER PARTS OF THE WORK OR THE WORK OF SEPARATE CONTRACTORS.
- FIRE PROTECTION AT FIRE RESISTIVE RATED WALLS AND PARTITIONS:
 - NO ELECTRICAL BOXES SHALL BE LOCATED BACK TO BACK WITHIN 2'-0" MEASURED HORIZONTALLY, ON FIRE RESISTIVE RATED PARTITION. IF LOCATED WITHIN 2'-0" EACH ELECTRICAL BOX SHALL BE SEPARATED WITH FIRE RESISTIVE RATED GYPSUM BOARD AROUND FIVE SIDES RECESSED INTO PARTITION ASSEMBLY.
 - ANY ELECTRICAL BOX LARGER THAN 16 SQUARE INCHES SHALL BE PROTECTED WITH FIRE RESISTIVE RATED GYPSUM BOARD AROUND FIVE SIDES.
 - FOR ANY 100 SQUARE FEET OF FIRE RESISTIVE RATED PARTITION ARE, THE ALLOWABLE AGGREGATE AREA FOR UTILITY BOXES SHALL NOT EXCEED 100 SQUARE INCHES.

SHEET INDEX

Sheet List	
Sheet Number	Sheet Name
A0.00	COVER SHEET
A1.00	EXISTING SITE PLAN
A1.01	PROPOSED SITE PLAN
A1.02	FENCE ELEVATIONS
A1.03	EXISTING FLOOR PLANS
A1.04	PROPOSED FLOOR PLANS
A1.05	ROOF PLAN
A2.01	ELEVATIONS
L-1	LANDSCAPE
L-2	IRRIGATION
L-3	DETAILS

SHEET TITLE

COVER SHEET

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	07-10-25	CITY COMMENTS

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CHECKED PG

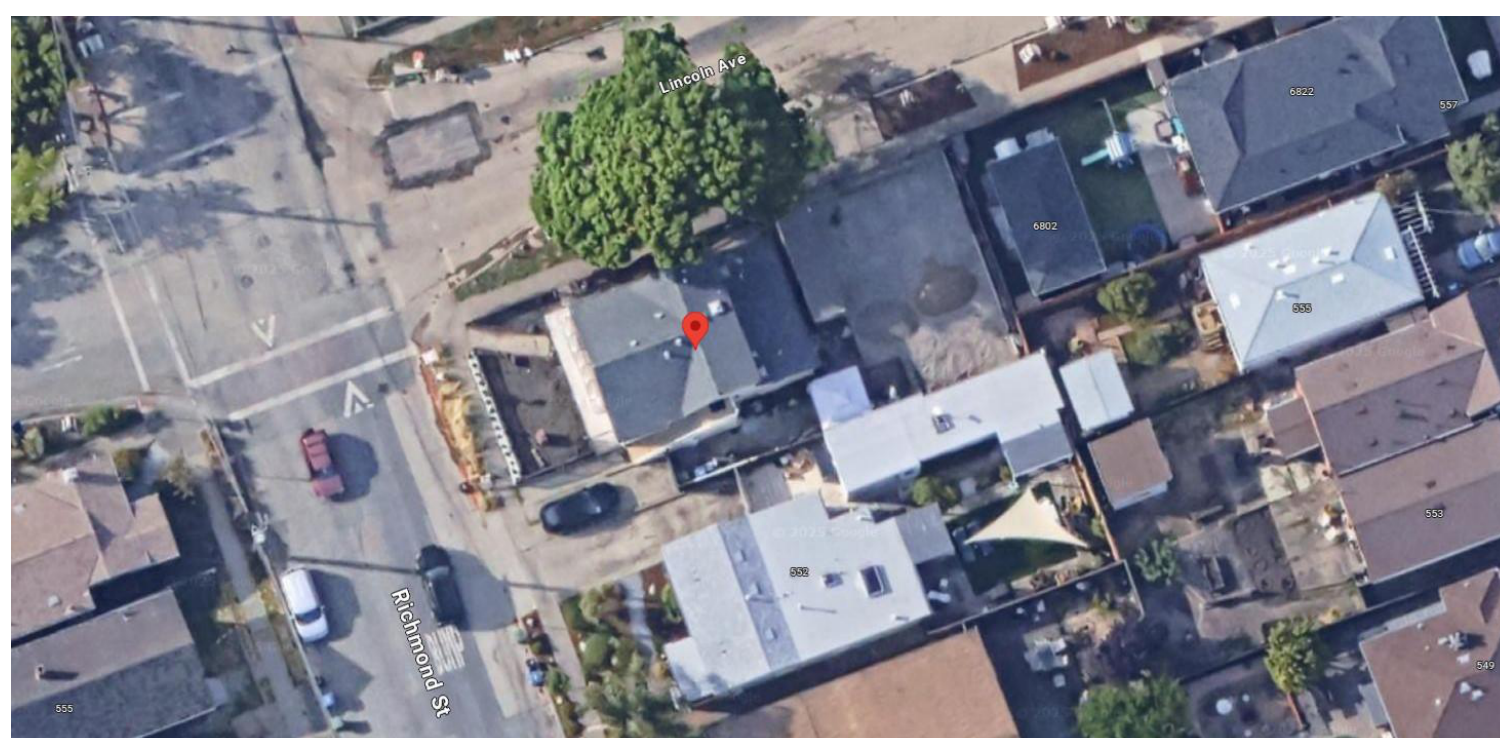
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REVISED DATE 08-20-25

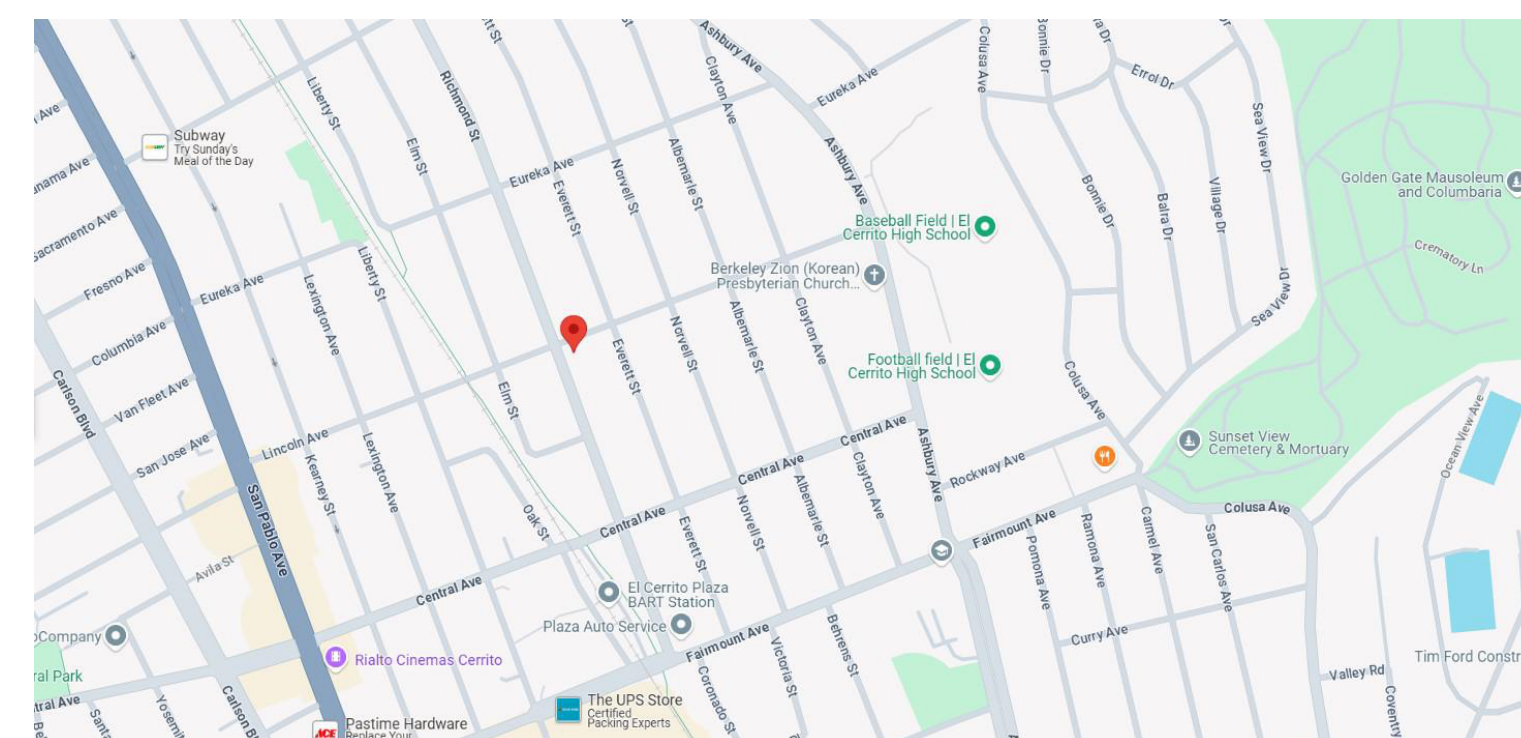
JOB NO. XXXXXX

SHEET NO. A0.00

LOCATION MAP



VICINITY MAP



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2

3

4

5

PROJECT NAME

556 Richmond St, El Cerrito, CA 94530



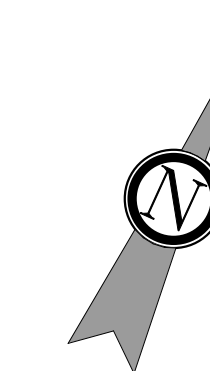
S&P STRUCTURAL ENGINEERS
1724 Carriage Dr
Walnut Creek, CA 94598



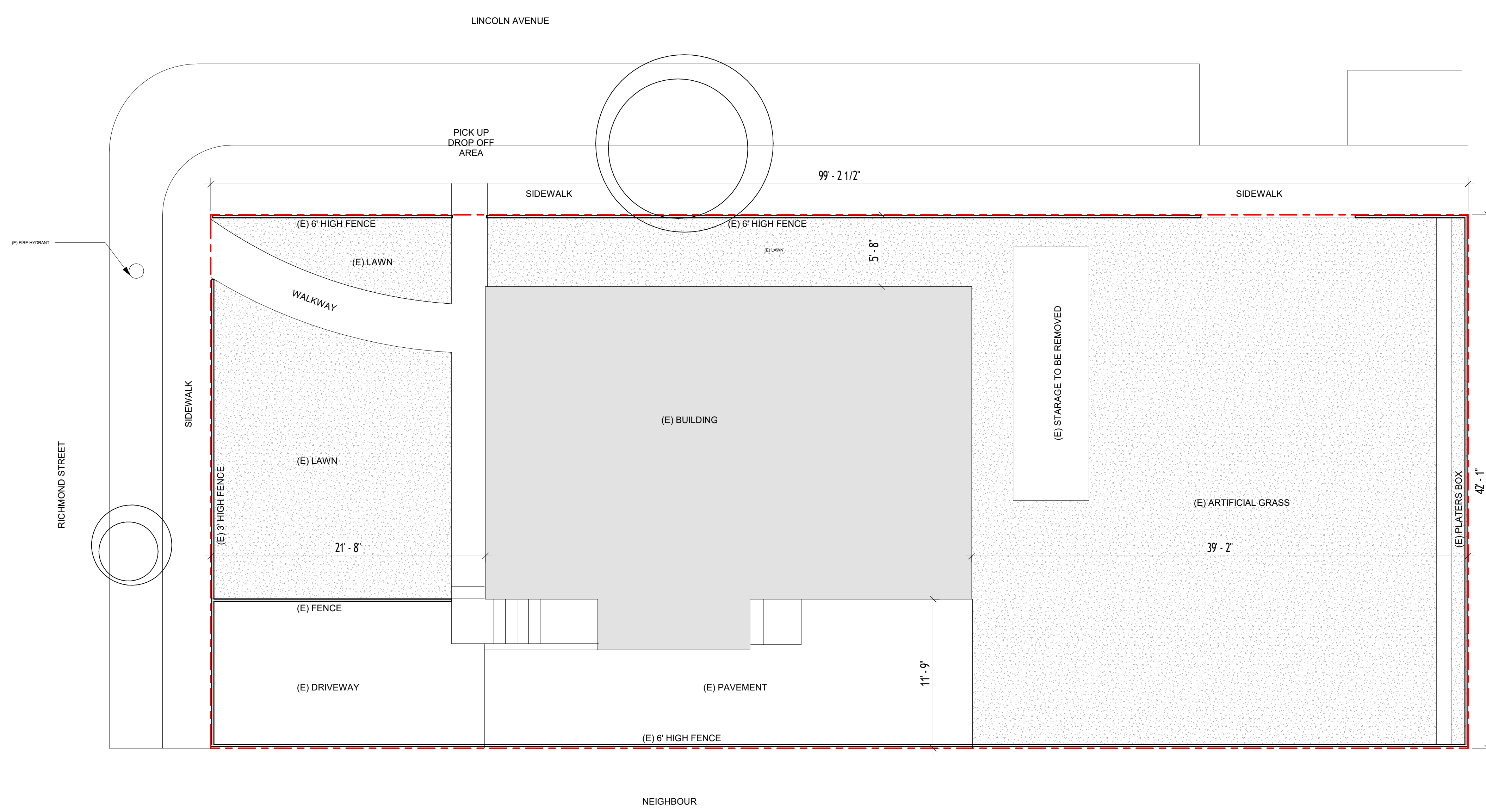
EXP: 03/31/27
P. Ghaffari

LEGEND

- PROPERTY LINE
- SITE SETBACK LINE
- STREET LINE
- BUILDING



LOT COVERAGE SCHEDULE		
LOT	4,200 SQFT	%100
EXISTING BUILDING	1,393 SQFT	%33.1
ADDITION	00 SQFT	



NOTE:
DIMENSIONS AS SHOWN ARE INTENDED FOR PERMIT APPLICATION PURPOSES ONLY AND SHALL NOT BE USED FOR SELLING OR LEASING PURPOSES. FOR PRECISE FINAL FINISHED DIMENSIONS, REFER TO A VALID SURVEY.

SHEET TITLE

EXISTING SITE PLAN

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	07-10-25	CITY COMMENTS

DRAWN LA

CHECKED PG

DATE 08-20-25

REVISED DATE 08-20-25

JOB NO. XXXXXX

SHEET NO. **A1.00**

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PROJECT NAME

556 Richmond St, El Cerrito, CA 94530



S&P STRUCTURAL ENGINEERS
1724 Carriage Dr
Walnut Creek, CA 94598



EXP: 03/31/27
Pimant Ghaffari

SHEET TITLE

PROPOSED SITE PLAN

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	08-20-25	CITY COMMENTS

DRAWN LA

CHECKED PG

DATE 08-20-25

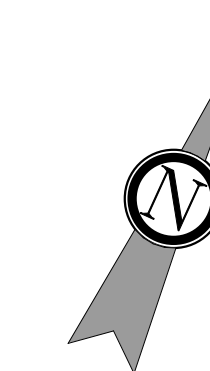
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JOB NO. XXXXXX

SHEET NO. **A1.01**

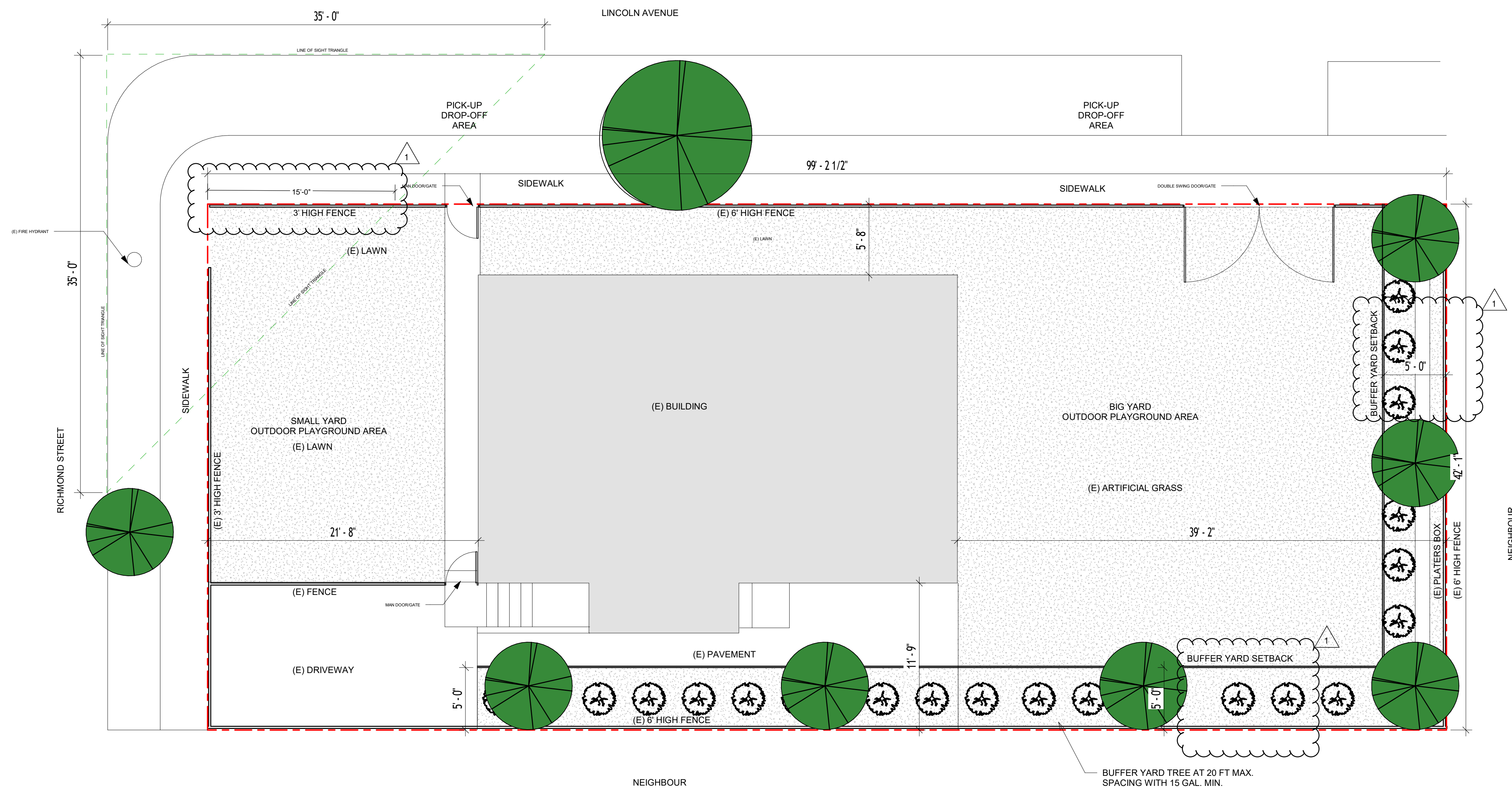
LEGEND

- PROPERTY LINE
- SITE SETBACK LINE
- STREET LINE
- BUILDING



LOT COVERAGE SCHEDULE		
LOT	4,200 SQFT	%100
EXISTING BUILDING	1,393 SQFT	%33.1
ADDITION	00 SQFT	

DROP-OFF & PICK-UP SCHEDULE:
DROP OFF HOURS: 8 TO 8:30 AM MONDAY TO FRIDAY
PICK-UP HOURS: 5 TO 5:30 PM MONDAY TO FRIDAY



NOTE:

FOR THE TYPES OF TREE AND SHRUB SEE LANDSCAPE & IRRIGATION DRAWINGS ON SHEET L-1, L-2 & L-3

DIMENSIONS AS SHOWN ARE INTENDED FOR PERMIT APPLICATION PURPOSES ONLY AND SHALL NOT BE USED FOR SELLING OR LEASING PURPOSES. FOR PRECISE FINAL FINISHED DIMENSIONS, REFER TO A VALID SURVEY.

1 | PROPOSED SITE PLAN
3/16" = 1'-0"

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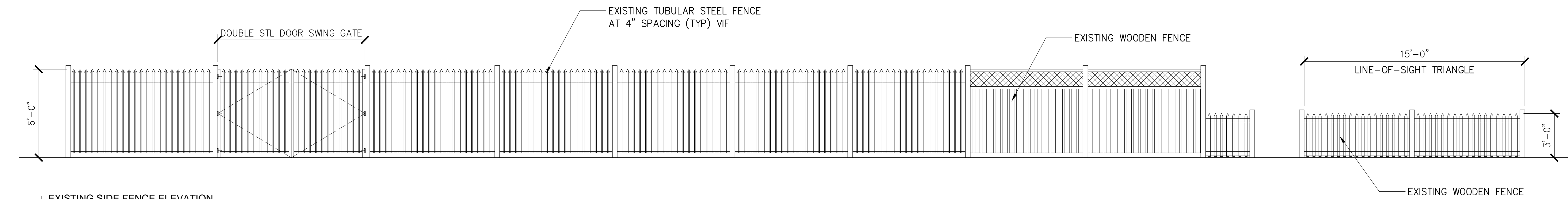
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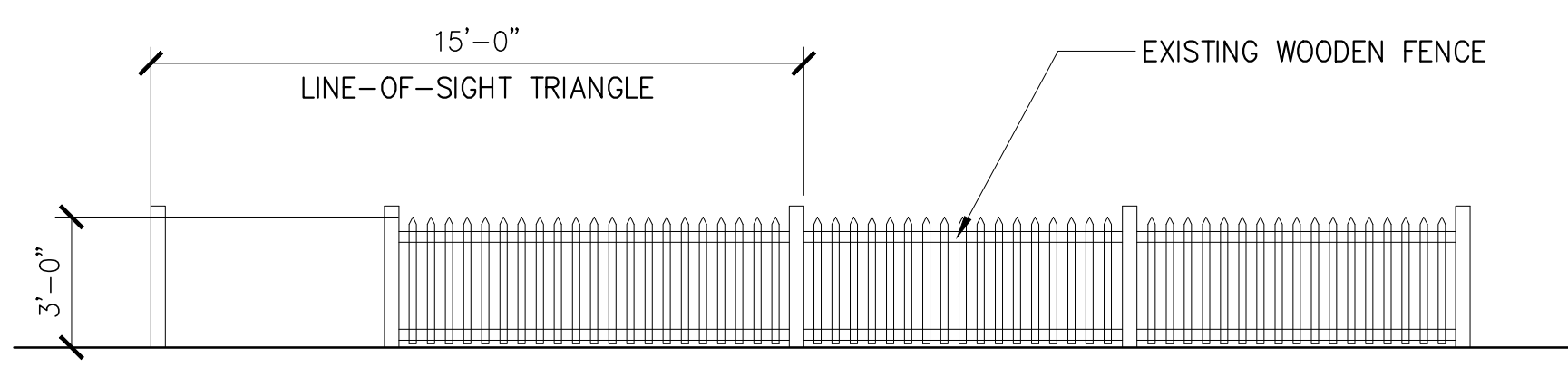
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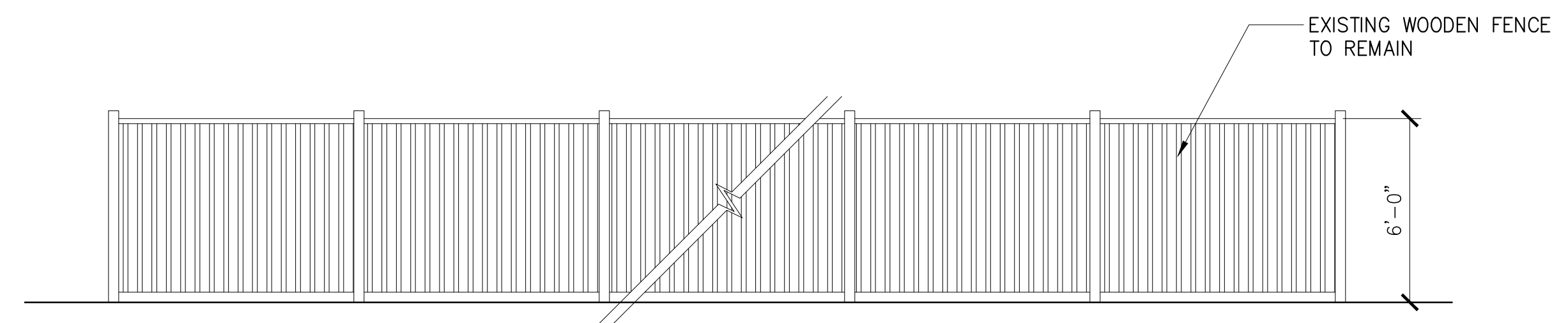
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EXISTING SIDE FENCE ELEVATION
1/4" = 1'-0"

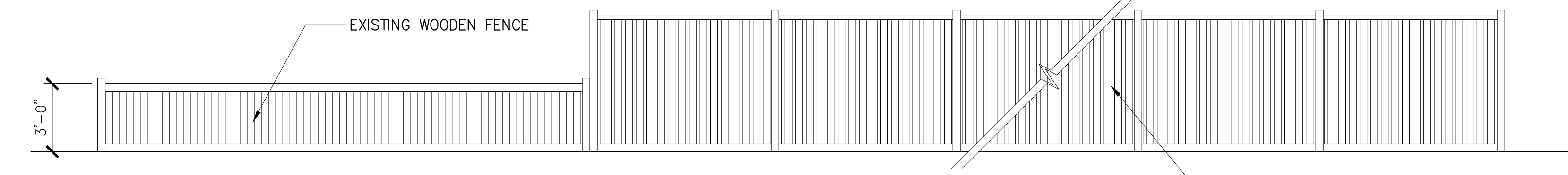


EXISTING FRONT FENCE ELEVATION
1/4" = 1'-0"

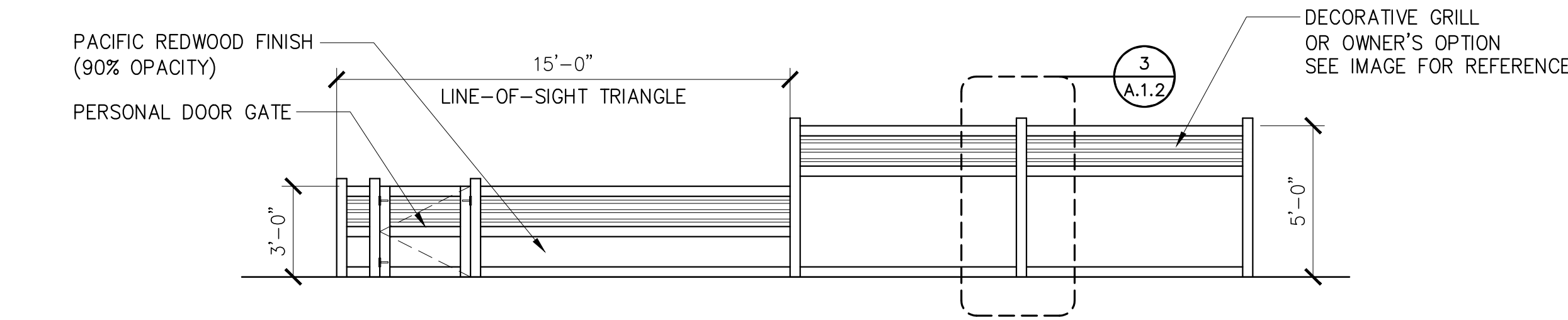


EXISTING REAR FENCE ELEVATION
1/4" = 1'-0"

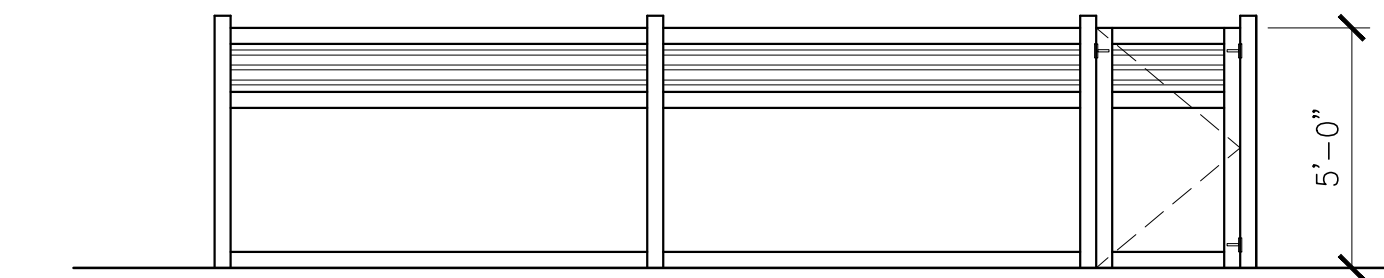
C



EXISTING SIDE FENCE ELEVATION
1/4" = 1'-0"

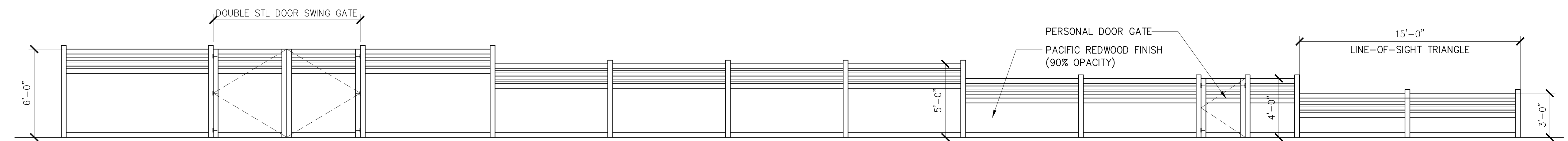


PROPOSED FRONT FENCE ELEVATION
1/4" = 1'-0"



PROPOSED SIDE FENCE ELEVATION
1/4" = 1'-0"

A



PROPOSED SIDE FENCE ELEVATION
1/4" = 1'-0"

1

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PROJECT NAME

556 Richmond St, El Cerrito, CA 94530



S&P STRUCTURAL ENGINEERS
1724 Carriage Dr
Walnut Creek, CA 94598



EXP: 03/31/27
Peiman Ghaffari

SHEET TITLE

FENCE ELEVATIONS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	07-10-25	CITY COMMENTS

DRAWN LA

CHECKED PG

DATE 08-20-25

REVISED DATE 08-20-25

JOB NO. XXXXXX

SHEET NO. A1.02



PROPOSED SIDE FENCE DESIGN

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PROJECT NAME

556 Richmond St, El Cerrito, CA 94530



S&P STRUCTURAL ENGINEERS
1724 Carriage Dr
Walnut Creek, CA 94598



SHEET TITLE

EXISTING FLOOR PLANS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	07-10-25	CITY COMMENTS

DRAWN LA

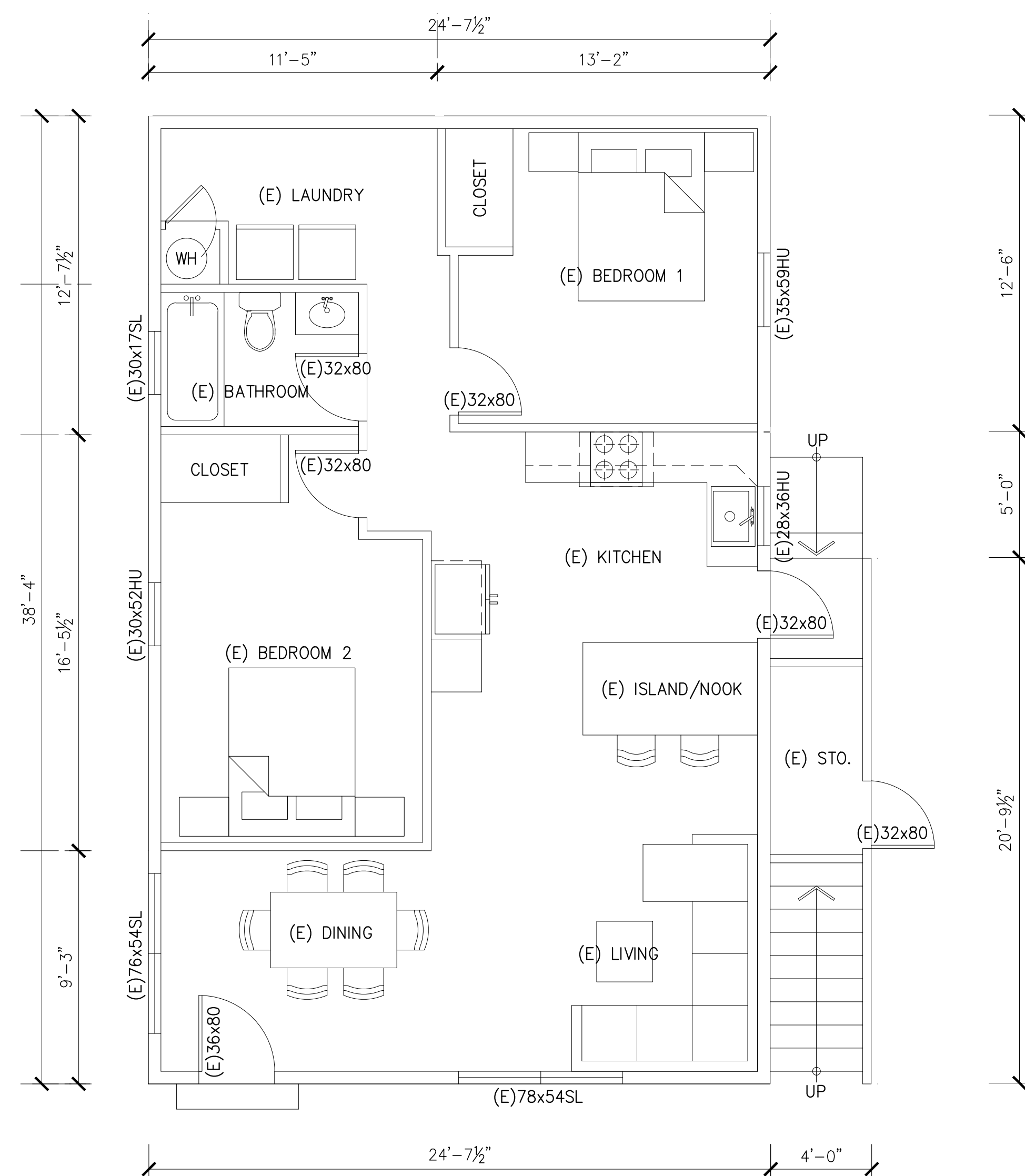
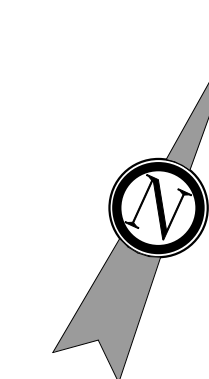
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DATE 08-20-25

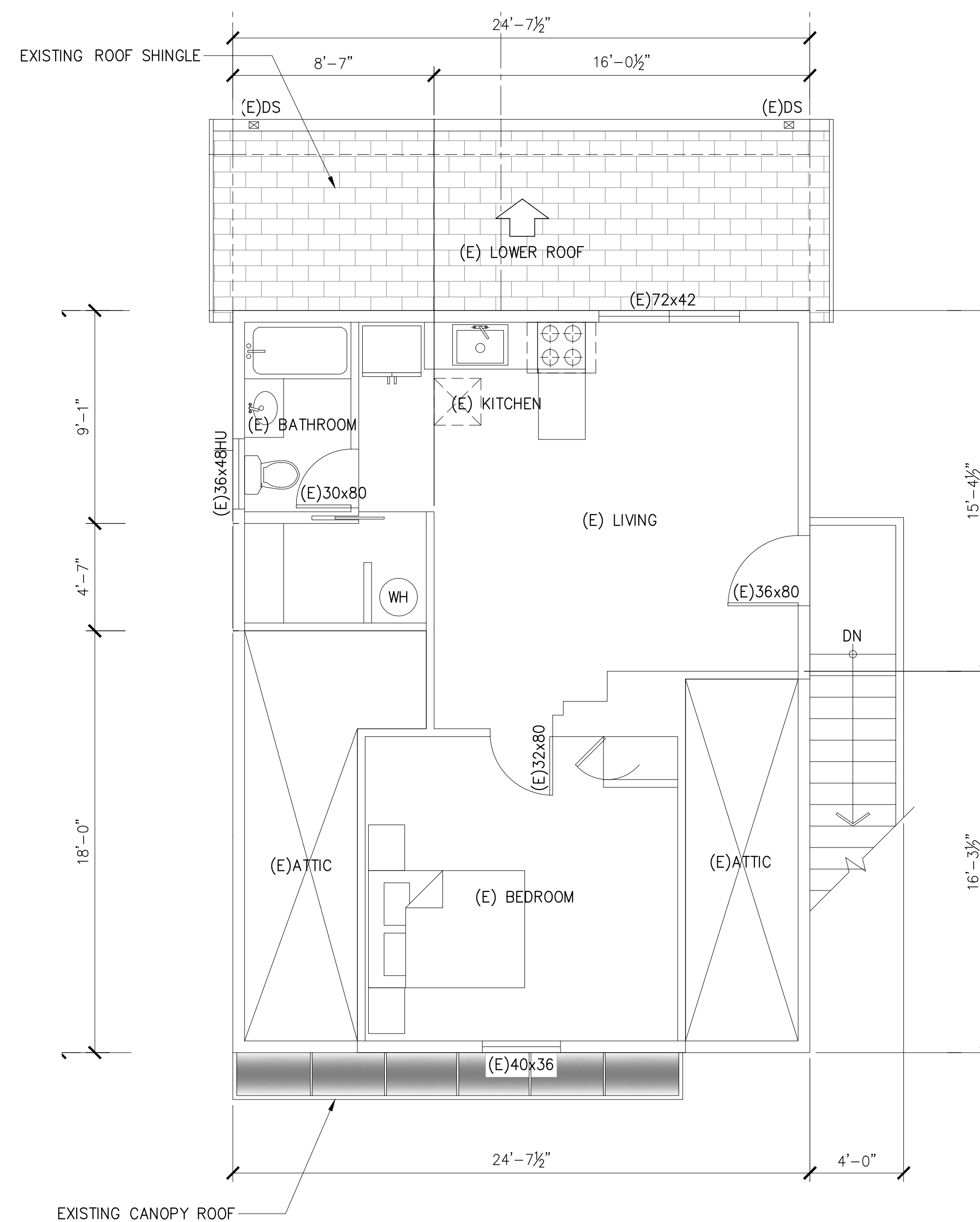
REVISED DATE 08-20-25

JOB NO. XXXXXX

SHEET NO. A1.03



1 | EXISTING GROUND FLOOR PLAN
1/4" = 1'-0"



2 | EXISTING SECOND FLOOR PLAN (NO CHANGE)
1/4" = 1'-0"

1

2

3

4

5

D

D

C

C

B

B

A

A

1

2

3

4

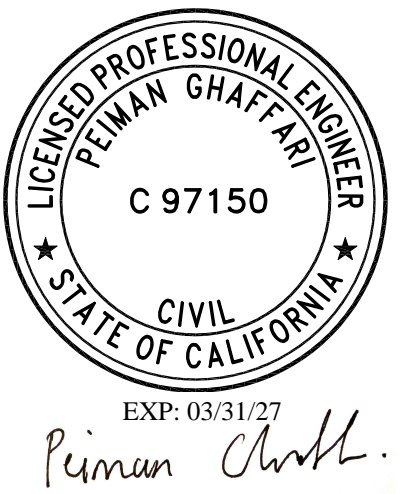
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PROJECT NAME

556 Richmond St, El Cerrito, CA 94530



S&P STRUCTURAL ENGINEERS
1724 Carriage Dr
Walnut Creek, CA 94598



SHEET TITLE

PROPOSED FLOOR PLANS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	07-10-25	CITY COMMENTS

DRAWN LA

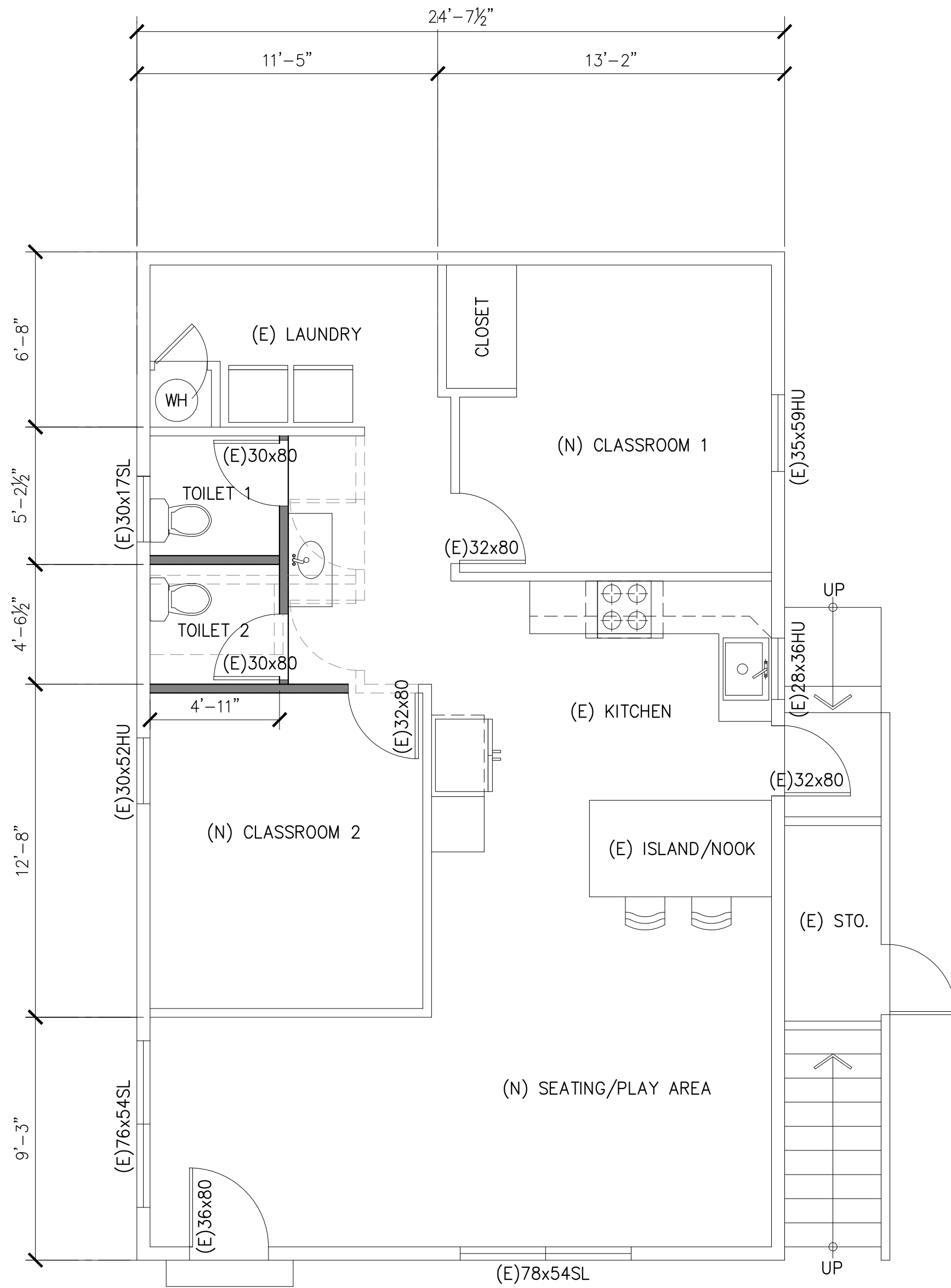
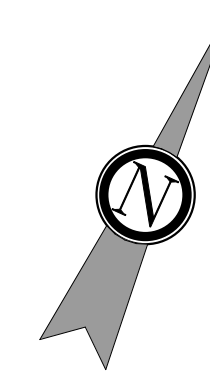
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DATE 08-20-25

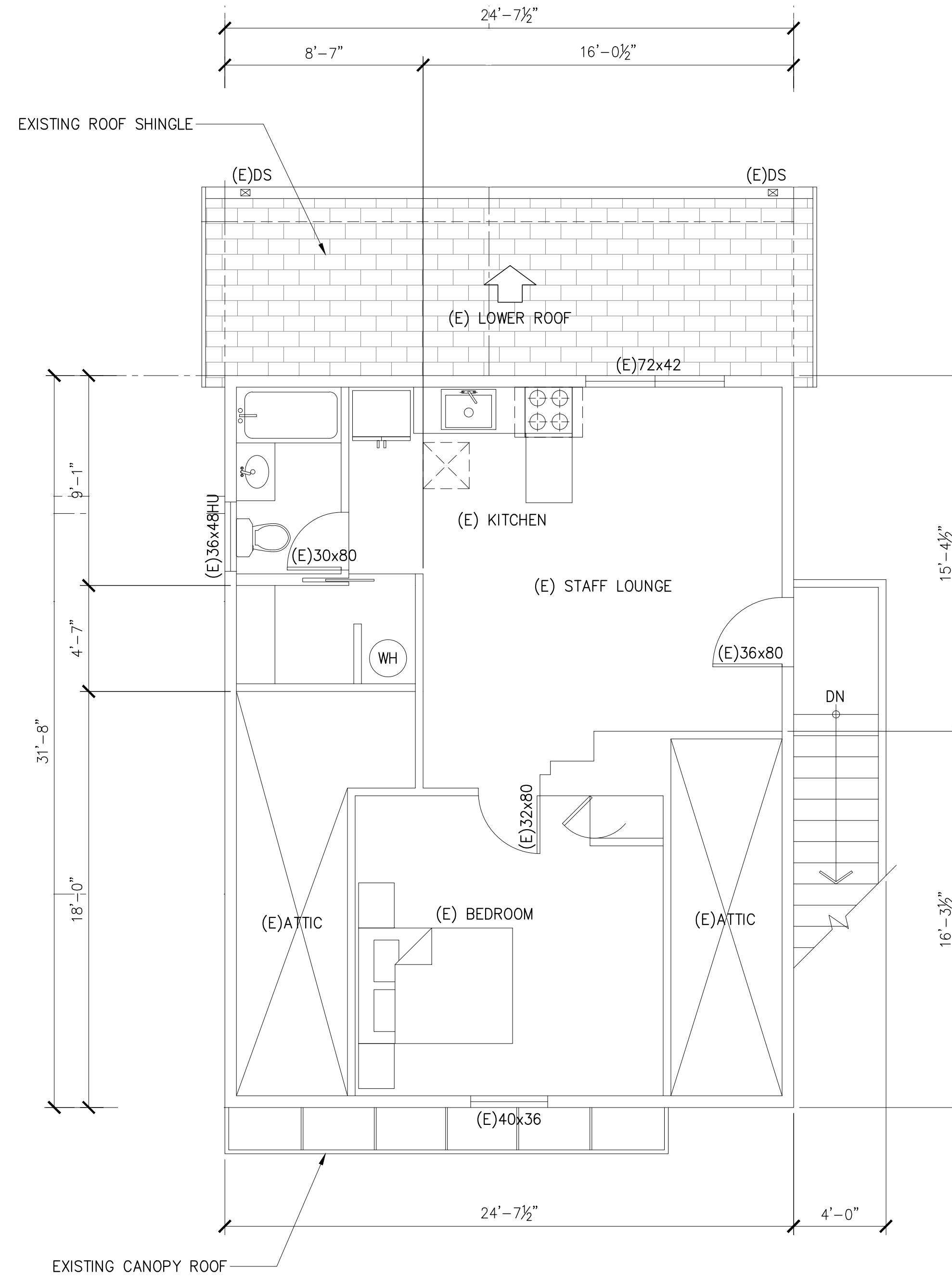
REVISED DATE 08-20-25

JOB NO. XXXXXX

SHEET NO. A1.04



1 PROPOSED GROUND FLOOR PLAN (BUSINESS DAY CARE CENTER)
1/4" = 1'-0"
(BUSINESS DAY CARE CENTER)



2 PROPOSED SECOND FLOOR PLAN (NO CHANGE)
1/4" = 1'-0"
(BUSINESS DAY CARE CENTER)

1

2

3

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5

D

D

C

C

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B

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A

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PROJECT NAME

556 Richmond St, El Cerrito, CA 94530



S&P STRUCTURAL ENGINEERS
1724 Carriage Dr
Walnut Creek, CA 94598



EXP: 03/31/27
Peiman Ghaffari

SHEET TITLE

ROOF PLAN

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	07-10-25	CITY COMMENTS

DRAWN LA

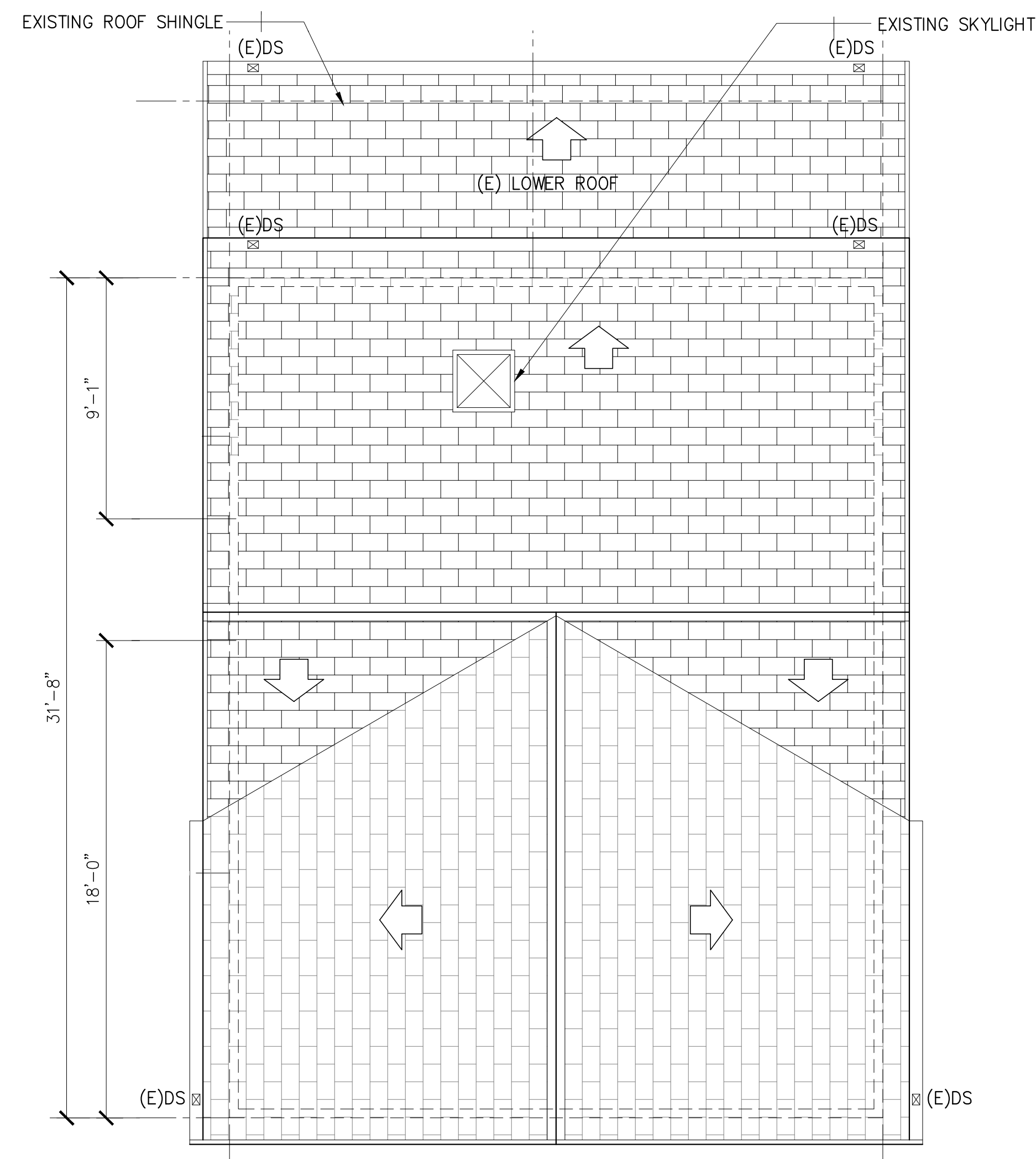
CHECKED PG

DATE 08-20-25

REVISED DATE 08-20-25

JOB NO. XXXXXX

SHEET NO. A1.05



1 | EXISTING ROOF PLAN (NO CHANGE)
1/4" = 1'-0"



1

2

3

4

5

1

2

3

4

5

PROJECT NAME

556 Richmond St, El Cerrito, CA 94530



S&P STRUCTURAL ENGINEERS
1724 Carriage Dr
Walnut Creek, CA 94598



EXP: 03/31/27
Peiman Ghaffari

SHEET TITLE

ELEVATIONS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	07-10-25	CITY COMMENTS

DRAWN LA

CHECKED PG

DATE 08-20-25

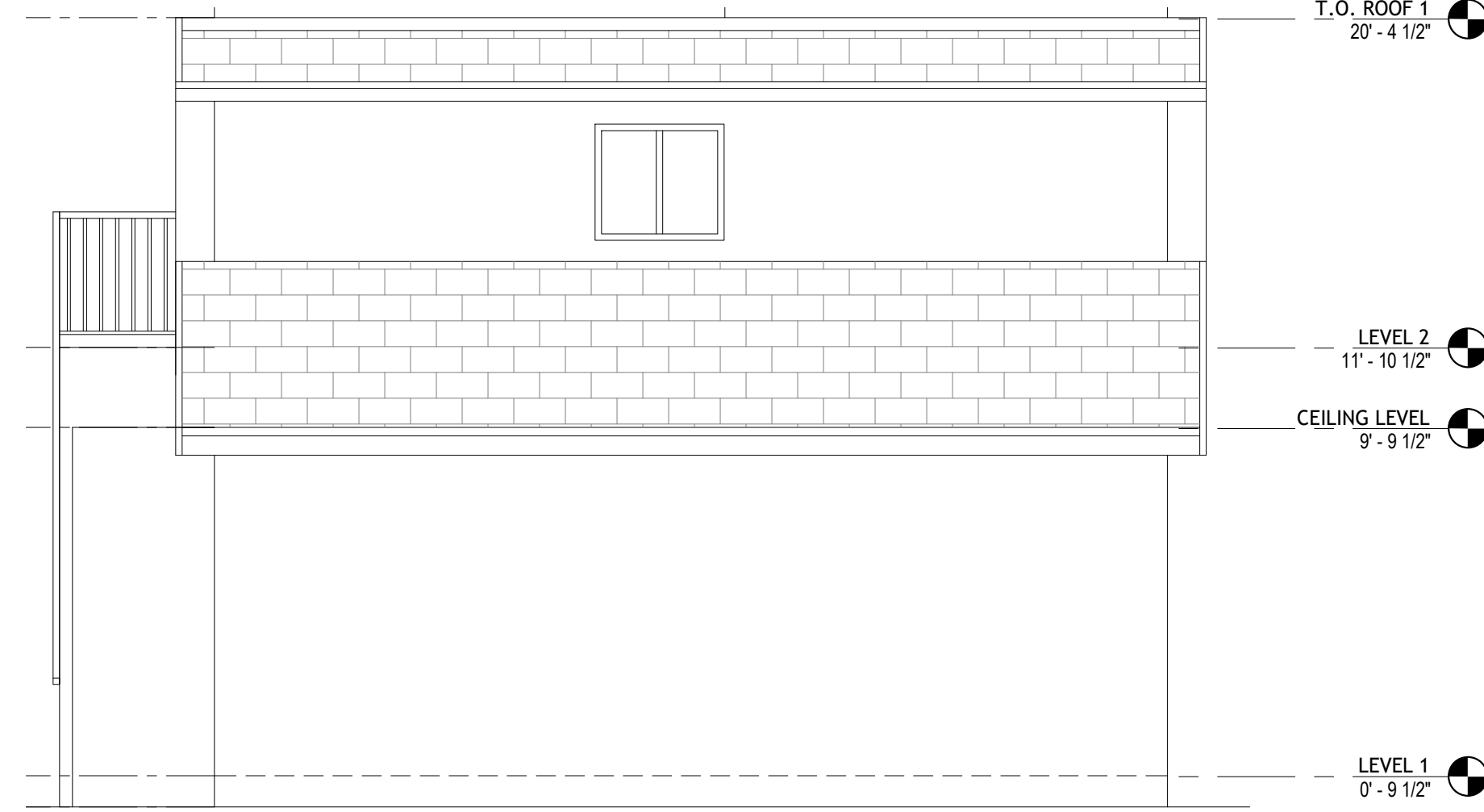
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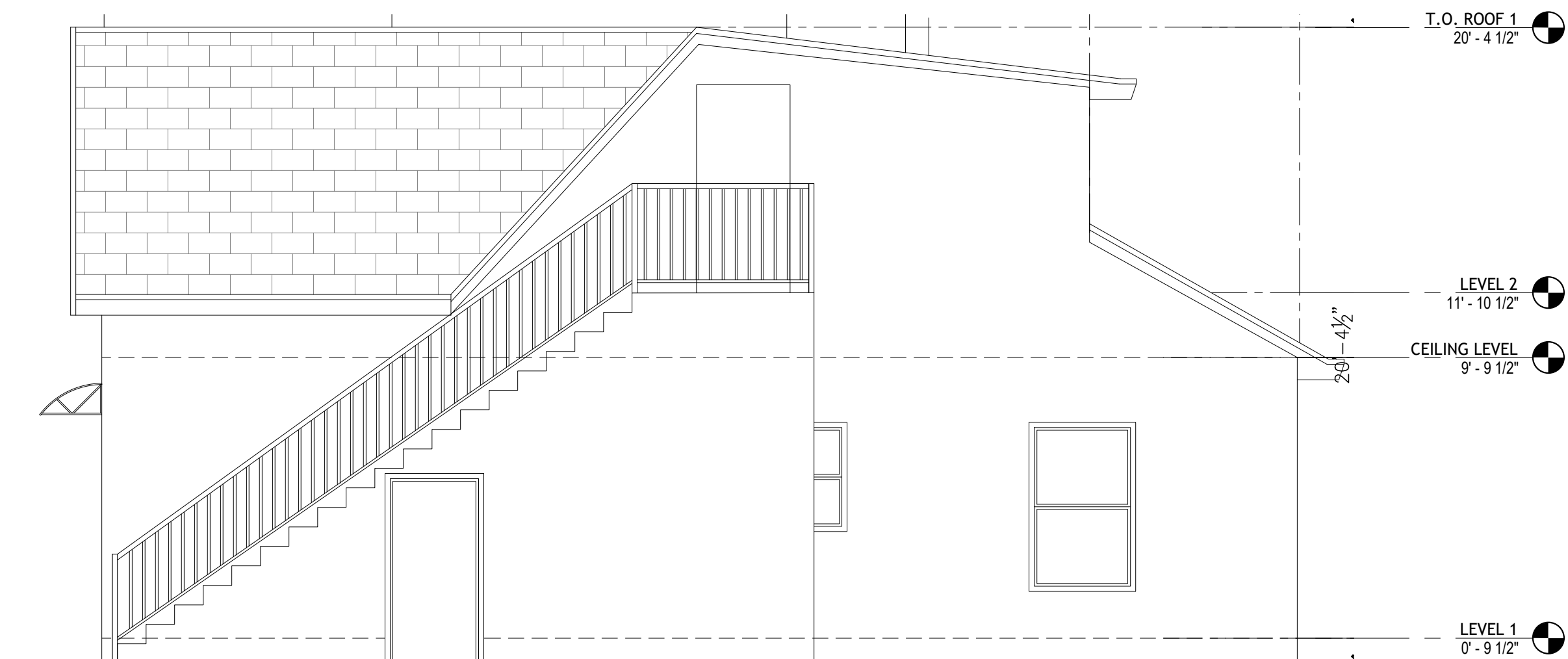
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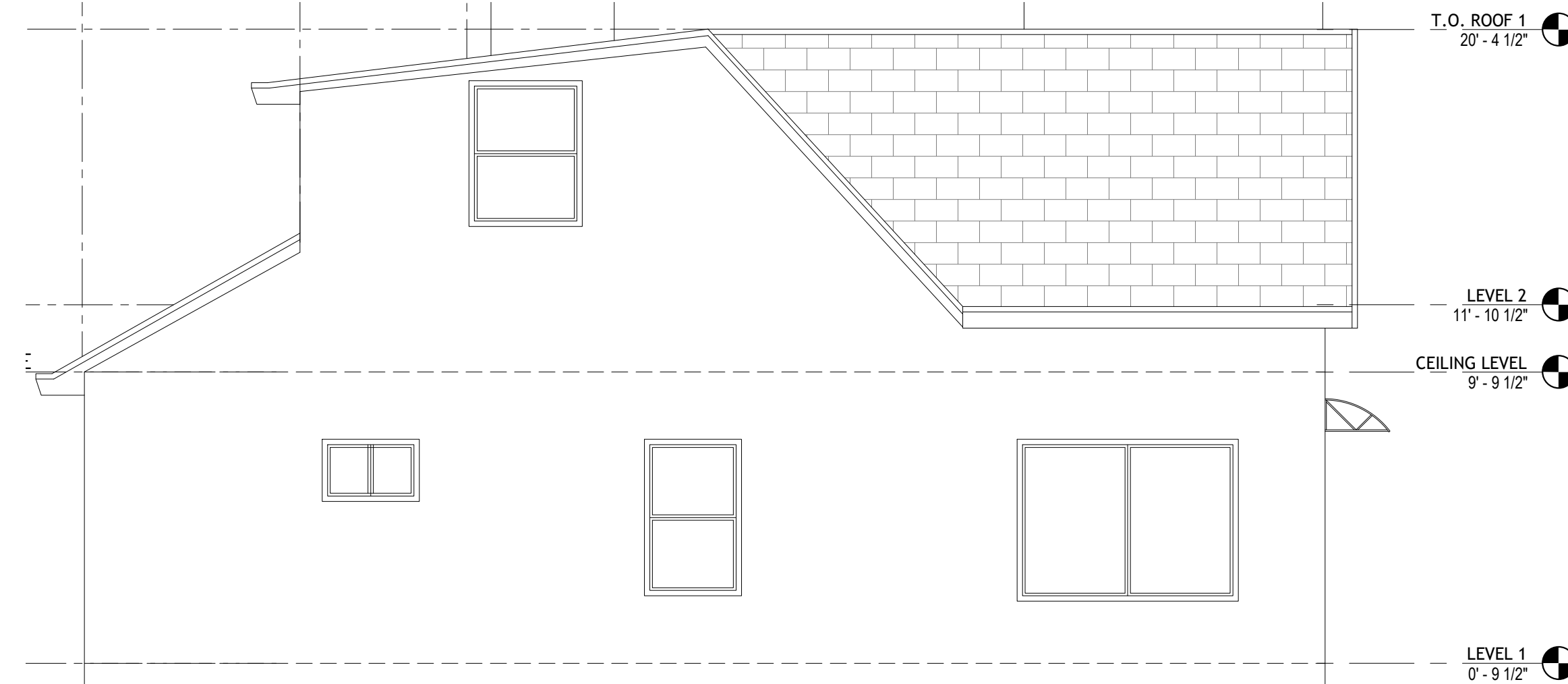
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1/4" = 1'-0"



2 REAR ELEVATION (NO CHANGE)
1/4" = 1'-0"

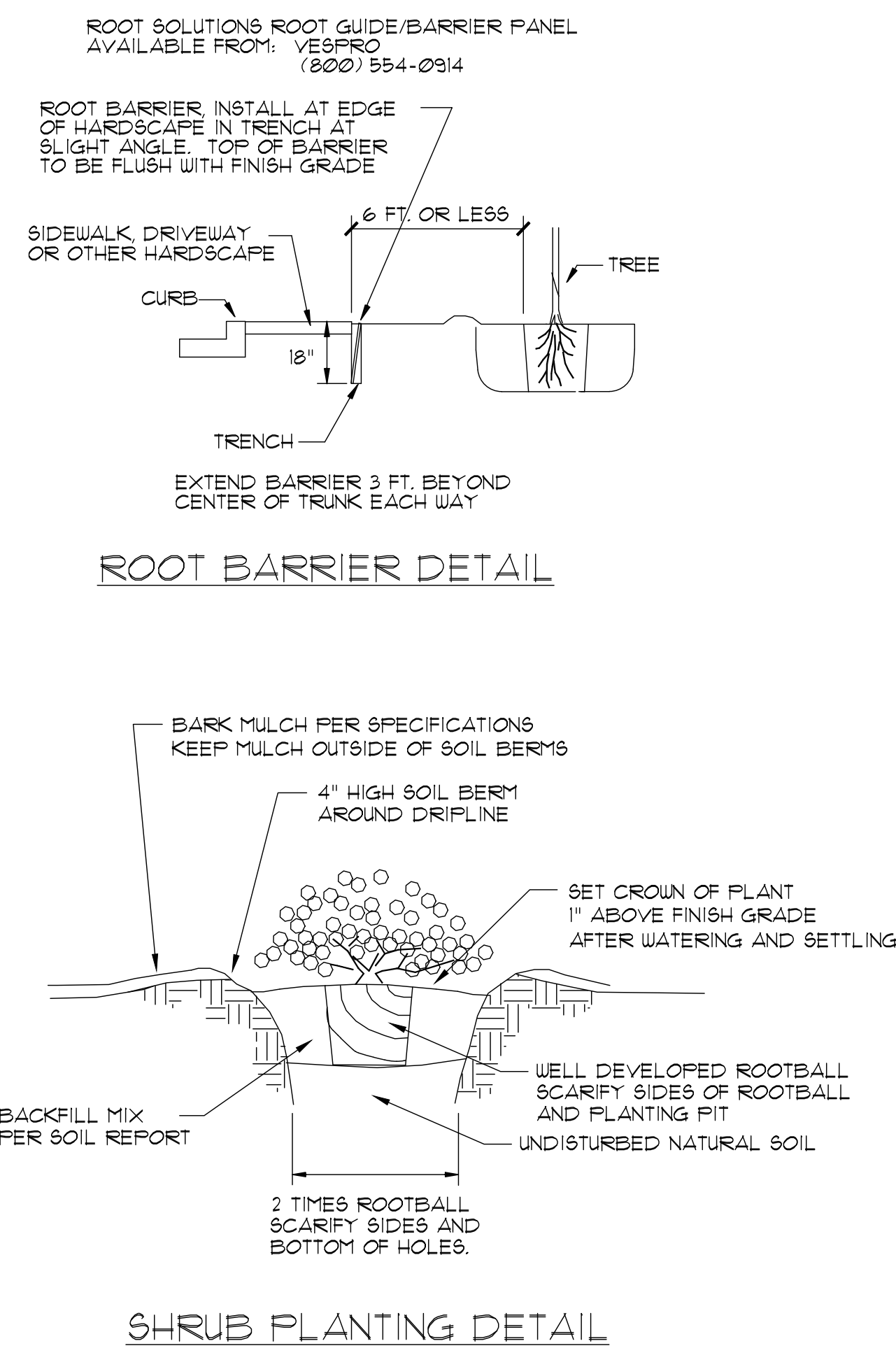
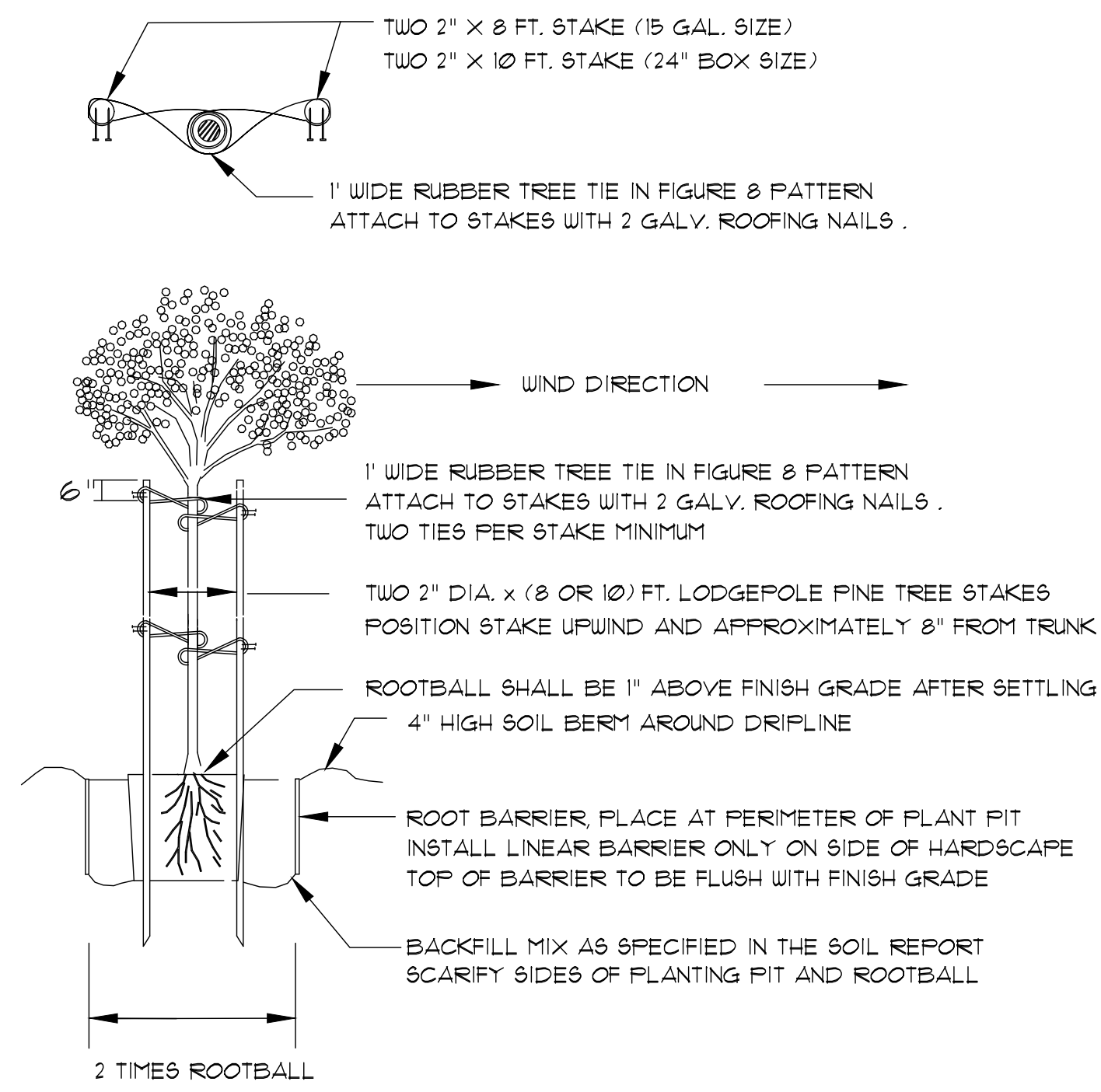
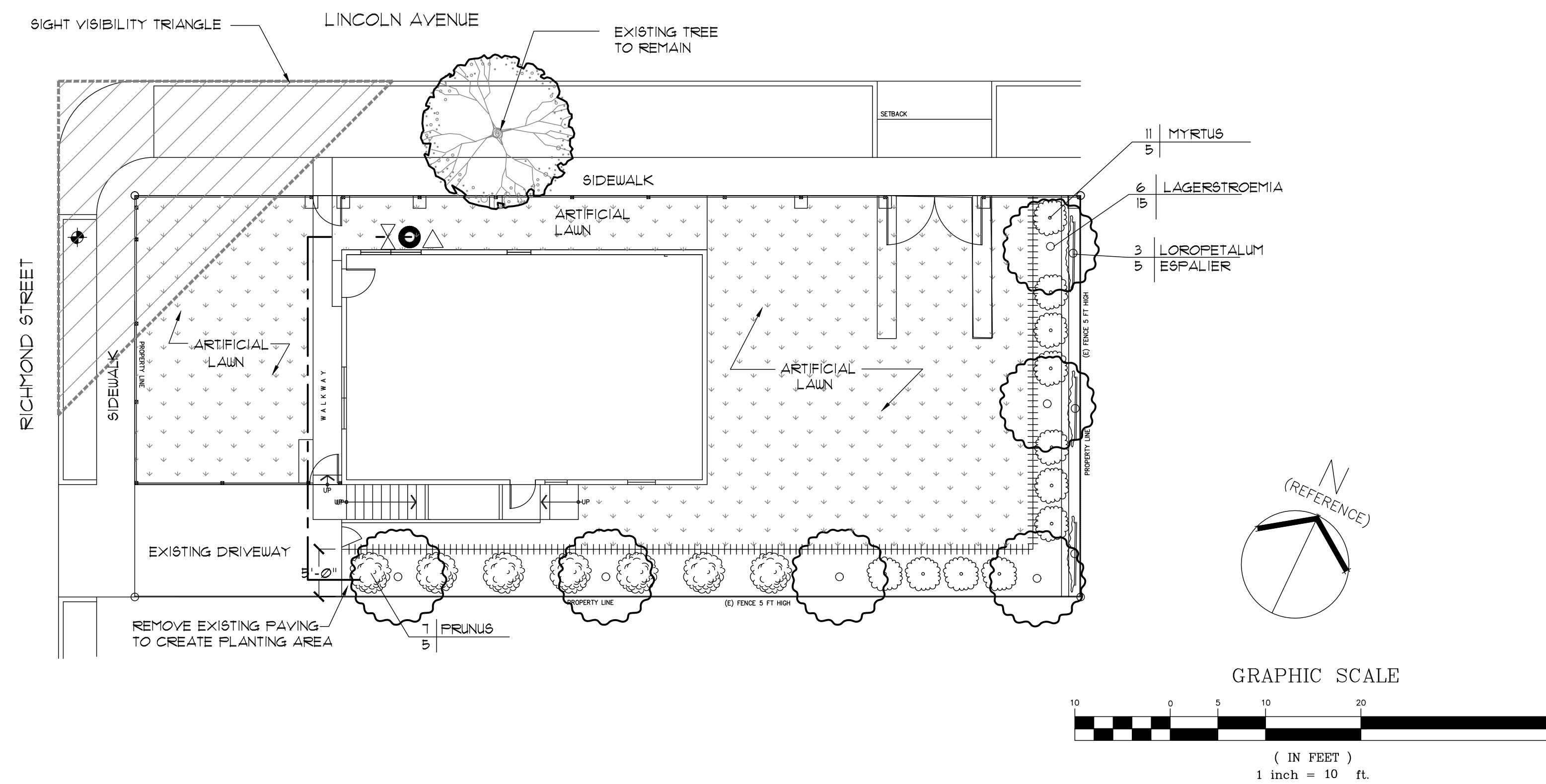


3 RIGHT ELEVATION (NO CHANGE)
1/4" = 1'-0"



4 LEFT ELEVATION (NO CHANGE)
1/4" = 1'-0"

\\landscape\Bridon's Drawings\KLCVE\Cerrito\EL Cerrito_LP.dwg, May, 02, 2025 - 2:39pm Administrator



PLANTING NOTES

- PRIOR TO COMMENCING WORK, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE GENERAL CONTRACTOR THAT THE PRELIMINARY GRADING AS SHOWN ON THE CIVIL ENGINEER'S DRAWING HAS BEEN COMPLETED, AND THAT ALL CONCRETE, ASPHALT, LARGE ROCKS, BASE ROCK MATERIAL AND ANY OTHER DEBRIS HAS BEEN REMOVED FROM ALL LANDSCAPE PLANTER AREAS. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A WRITTEN COPY OF THE VERIFICATION TO BKIA PRIOR TO PLANTING.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING OF ALL PLANTING AREAS. FINISH GRADE SHALL BE SMOOTH, EVEN AND UNIFORM PLANE WITH NO LOW SPOTS OR ABRUPT CHANGE OF SURFACE. SLOPE TO DRAIN, AND SLOPE ALL GRADES AWAY FROM BUILDINGS A MINIMUM OF 2%. FINISH GRADE SHALL BE TWO INCHES (2") BELOW ADJACENT PAVING, CURB, SIDEWALK AND HEADERBOARD, AND GENERALLY CROWNED TOWARDS THE CENTER OF THE PLANTER. THE ADDITION OF BARK MULCH OR LAWN SHALL RAISE ALL PLANTER AREAS LEVEL WITH ADJACENT SIDEWALKS AND OTHER PEDESTRIAN AREAS.

AS PART OF THIS WORK, THE LANDSCAPE CONTRACTOR SHALL HIRE A SOIL & PLANT LABORATORY TO TAKE SAMPLES AND PROVIDE A SOILS TEST AND RECOMMENDATIONS FOR SOIL AMENDMENTS AND SOIL PREPARATION FOR EACH OF THE FOLLOWING LANDSCAPE AREAS:
TREE, SHRUB AND GROUNDCOVER PLANTING AREAS.
LAWN AREAS.

THE TEST SHALL BE COMPLETED AFTER THE SITE IS GRADED AND PRIOR TO PLANTING. CONTRACTOR SHALL PROVIDE COPIES OF THE SOIL TEST TO BKIA AND THE OWNER'S REPRESENTATIVE PRIOR TO AMENDING THE SOIL.

UNLESS MODIFIED OTHERWISE BY THE SOIL REPORT, THE LANDSCAPE CONTRACTOR SHALL INCORPORATE ORGANIC COMPOST AT A MINIMUM RATE OF FOUR (4) CUBIC YARDS PER 1000 SQUARE FEET TO A DEPTH 6" INTO THE LANDSCAPE AREA.

UNLESS MODIFIED OTHERWISE BY THE SOIL REPORT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE, PLACE AND GRADE SANDY LOAM TOPSOIL FOR ALL PLANTING AREAS REQUIRING BACKFILL AND/OR MOUNDING TO MEET SPECIFIED FINISH GRADES. THE LANDSCAPE CONTRACTOR SHALL COORDINATE BACKFILL REQUIREMENTS WITH THE GENERAL CONTRACTOR PRIOR TO PLANTING. RIP SUBSOIL TO A DEPTH OF 6" PRIOR TO PLACING TOPSOIL.

FOR BIDDING PURPOSES ONLY, CONTRACTOR SHALL INCLUDE A UNIT PRICE PER CUBIC YARD OF TOPSOIL INSTALLED.

FOR ACTUAL CONSTRUCTION, PROVIDE TOPSOIL/SOIL AMENDMENTS PER THE SOIL REPORT, AND PROVIDE OWNER'S REPRESENTATIVE WITH WRITTEN DOCUMENTATION ON TOTAL QUANTITY OF TOPSOIL USED.

- ANY TREE PLANTED CLOSER THAN SIX FT. (6') TO ANY HARDSCAPE SURFACE OR FOUNDATION SHALL HAVE A ROOT BARRIER INSTALLED. ROOT BARRIER SHALL BE A CONTINUOUS BARRIER 18 INCHES DEEP, PLASTIC ROLL WITH RAISED RIBS FACING PLANTER AREA. ROOT BARRIERS SHALL BE INSTALLED AT THE BACK OF SIDEWALK, ALONG CURB OR OTHER HARDSCAPE IN TRENCH AT SLIGHT ANGLE. INSTALL ROOT BARRIER ALONG SIDE OF HARDSCAPE AREA ONLY, FOR A DISTANCE OF 3 FT. TO BOTH SIDES OF TREE TRUNK.
- DO NOT INSTALL ANY PLANT IN A SWALE OR IN SUCH A MANNER WHICH WILL INTERFERE WITH DRAINAGE.
- ORGANIC WOOD CHIP MULCH - ALL AREAS (EXCEPT LAWN) SHALL RECEIVE A THREE INCH (3") LAYER OF ORGANIC WOOD CHIP MULCH. KEEP ALL MULCH 6 INCHES AWAY FROM THE TRUNK OF PLANTS. SUBMIT SAMPLE OF BARK MULCH FOR APPROVAL PRIOR TO DELIVERY TO PROJECT. NO 'GORILLA HAIR' OR SHREDDED MULCH ALLOWED.

TREE PLANTING AND STAKING DETAIL

SHRUB PLANTING DETAIL

LANDSCAPE PLAN & DETAILS

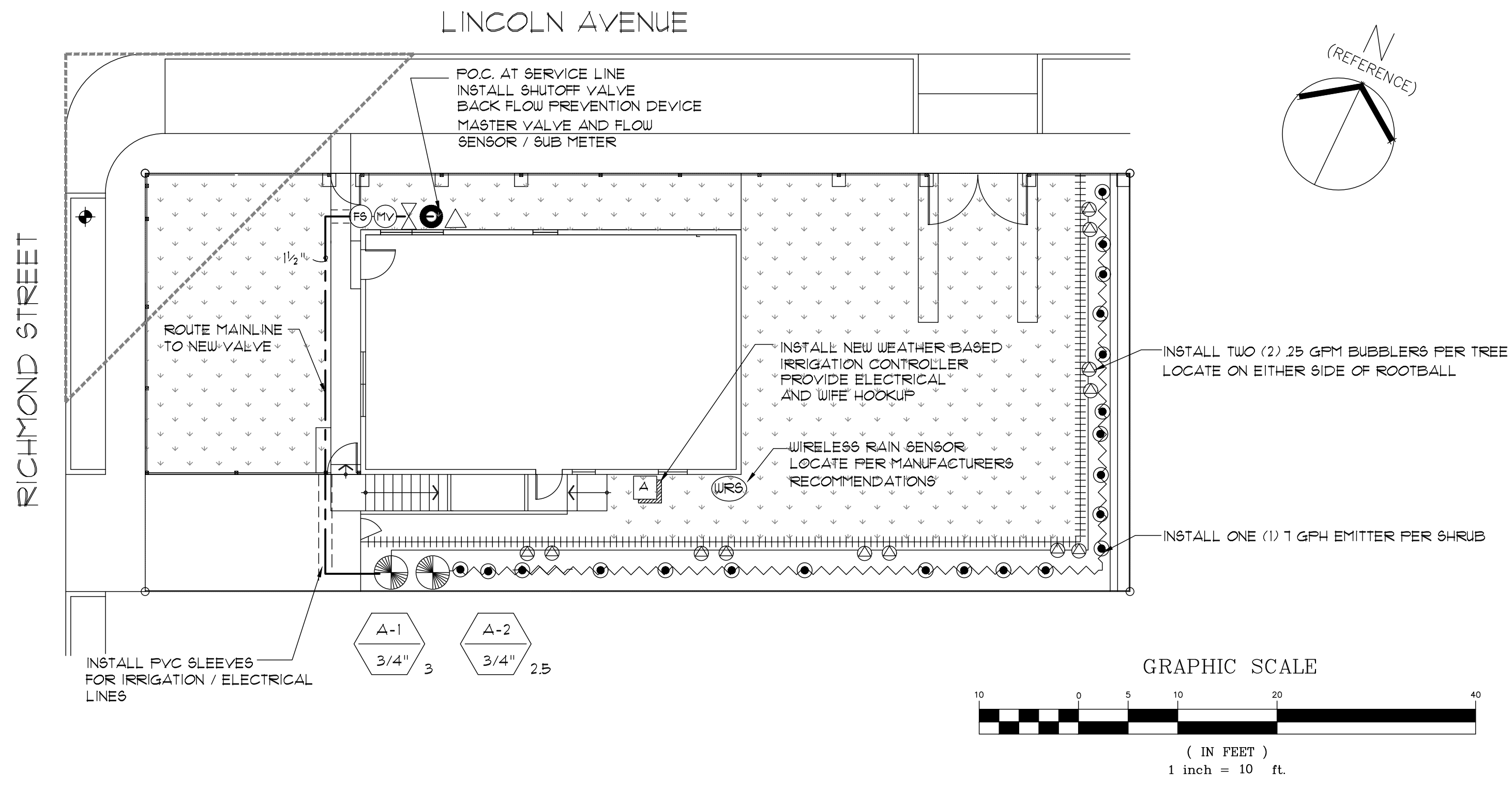
DISCLAIMER: ALL VELLUM, BOND, TRACE, BLUEPRINT, ETC. DRAWINGS PROVIDED WITH BORRECCO/KILIAN & ASSOCIATES, INC. (BK&A) LANDSCAPE ARCHITECTS' TITLE BLOCK AND/OR SIGNATURE STAMP, IS CONSIDERED TO BE A COPY OF THE ORIGINAL DESIGN RETAINED BY BK&A IN ELECTRONIC FORMAT. BK&A WILL ONLY ACKNOWLEDGE SIGNED AND STAMPED PLANS AND DRAWINGS AFTER COMPARISON AND WRITTEN VERIFICATION WITH THE ORIGINAL ELECTRONIC FILES RETAINED BY BK&A. NO RESPONSIBILITY OR LIABILITY IS EXPRESSED OR IMPLIED FOR ELECTRONIC DATA AND/OR REPRODUCED PLANS AND DRAWINGS USED WITHOUT BK&A'S SIGNATURE.

BORRECCO/KILIAN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
649 Main Street #102-224
Martinez, California 94553
Phone: 925/972-5306

DATE: 3/17/2025
DRAWN BY: KDF
THIS PLAN IS:

SHEET NUMBER: 1-1
TITLE OF DRAWING: LANDSCAPE

LANDSCAPE ARCHITECT
3/17/2025
STATE OF CALIFORNIA



IRRIGATION LEGEND

	RAIN BIRD XBS-940 3/4" TUBING WITH PC-01 PRESSURE COMPENSATING EMITTER INSTALL ONE (1) EMITTER PER MEDIUM AND LARGE SHRUBS INSTALL FLUSH CAPS AT END OF 3/4" TUBING LINES FLOW RATE 1 GPH / OPERATING RANGE 15 - 50 PSI
	RAIN BIRD 1401 PRESSURE COMPENSATING BUBBLER ON FLEXIBLE RISER INSTALL TWO (2) PER TREE LOCATE ON EITHER SIDE OF ROOTBALL FLOW RATE 25 GPM / OPERATING RANGE 20 - 90 PSI
	RAIN BIRD XEZ-075-PRF LOW FLOW CONTROL ZONE KIT WITH FR FILTER OPERATING RANGE 2 - 10 GPM / 20 - 150 PSI
	P.O.C. SERVICE LINE
	PVC BALL VALVE - LINE SIZE
	FEBCO 825Y LEAD FREE 3/4" REDUCED PRESSURE BACKFLOW PREVENTION DEVICE
	HUNTER ICV-101G NORMALLY CLOSED MASTER VALVE OPERATING RANGE 1 - 40 GPM / 20 - 220 PSI
	HUNTER HC-075 FLOW SENSOR (IRRIGATION SUBMETER) OPERATING RANGE 22 - 21
	HUNTER HPC-400 PROGRAMMABLE CONTROLLER HYDRAWISE SOFT WARE PROVIDE WIFI CONFECTION
	WR-CLK RAIN SENSOR
	STATION CONTROLLER NUMBER VALVE SIZE G.P.M.
	SCHEDULE 40 PVC MAIN LINE 1 1/2"
	RAIN BIRD XBS-940 3/4" TUBING INSTALL MDCF CAP AT END OF TUBING RUNS
	SCHEDULE 40 PVC LATERAL LINE (ALL LATERAL LINES ARE 3/4" SIZE UNLESS NOTED OTHERWISE ON PLAN)
	PVC SLEEVE
	WIRE - #14 DIRECT BURIAL GLUE - WELD-ON TII, OR EQUAL PRIMER - WELD-ON P-10, OR EQUAL SPlice KITS - 3M-DBY, OR EQUAL

POINT OF CONNECTION AT SERVICE LINE. THE DESIGN ASSUMES A MINIMUM PRESSURE OF 60 PSI AND A MINIMUM SAFE FLOW OF 15 GPM.

THESE DRAWINGS ARE DESIGN DRAWINGS. THE LAYOUT AND SPRINKLER/DRIP DESIGN IS BASED ON SPECIFIC DIMENSIONS AS SHOWN ON THE SITE PLAN, OR SCALED FROM THE LANDSCAPE PLAN. ACTUAL DIMENSIONS AND/OR CONSTRUCTION MAY VARY AT THE DISCRETION OF THE OWNER. IF CHANGES OCCUR, CONTRACTOR SHALL PROVIDE AN OVERLAY SHOWING DESIGN MODIFICATIONS TO VALVES AND/OR PIPE SIZES AND ADJUST THE LAYOUT AND NUMBER OF HEADS TO ACCOMMODATE THE DIFFERENT SIZE AREA(S). THE CONTRACTOR SHALL PREPARE A DETAILED "AS-BUILT" DRAWING FOR SUBMITTAL TO THE OWNER TO BE USED AS FINAL RECORD DRAWINGS.

ALL LATERAL LINES ARE 3/4" DIAMETER UNLESS SPECIFICALLY NOTED OTHERWISE ON THE IRRIGATION PLANS.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE ELECTRICAL WIRES FROM THE CONTROLLER TO EACH VALVE. WIRES SHALL OCCUPY THE SAME TRENCH AND SHALL BE INSTALLED ALONG SIDE OF PRESSURE LINES WHEREVER POSSIBLE. COMMON WIRE SHALL BE WHITE, ALL OTHERS TO BE COLORED. TAPE AND BUNDLE WIRES TOGETHER AT 10' (TEN FOOT) INTERVALS. SPLICES SHALL BE MADE WITH SCOTCH-LOK CONNECTOR PACKS, OR EQUAL. PROVIDE FOUR (4) EXTRA WIRES TO FURTHEST VALVE AWAY FROM P.O.C. BUNDLE EXTRA WIRES IN SEPARATE VALVE BOX FOR FUTURE USE. ALL WIRES SHALL BE MIN. #14 UF. 600 VOLT COPPER DIRECT BURIAL OR HEAVIER GAUGE AS REQUIRED BY LENGTH OF RUN.

VERIFY: SIZE, LOCATION AND AVAILABLE PRESSURE OF P.O.C. PRIOR TO INSTALLATION. IF DIFFERENT THAN WHAT IS SHOWN ON THE IRRIGATION PLAN, STOP WORK AND CONTACT BK&A IN WRITING FOR RESOLUTION. FAILURE TO DO SO WILL MEAN THE LANDSCAPE CONTRACTOR ACCEPTS ALL RESPONSIBILITY AND COSTS FOR REPAIRS, MODIFICATIONS OR OTHER WORK NECESSARY TO PROVIDE THE OWNER WITH A PROPER WORKING IRRIGATION SYSTEM(S).

EXACT LOCATION OF CONTROLLER(S). COORDINATE WITH OWNER AND ELECTRICAL CONTRACTOR FOR LOCATION OF 110 VOLT ELECTRICAL STUBOUT FOR CONTROLLER(S).

ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE.

WHERE VERTICAL OBSTRUCTIONS IN THE LANDSCAPE AREA INTERFERE WITH THE SPRAY PATTERN OF A SPRINKLER, THE CONTRACTOR SHALL ADJUST HEAD LOCATIONS OR ADD SPRINKLERS AS REQUIRED TO PROVIDE FULL COVERAGE. THIS MAY REQUIRE THE ADDITION OF A VARIABLE ARC PATTERN SPRINKLER(S) TO EACH SIDE OF THE OBSTRUCTION. ALL SUCH ADJUSTMENTS SHALL BE MADE AT NO COST TO THE OWNER.

IRRIGATION SCHEDULE: PLANT ESTABLISHMENT												
(CIRCUIT MINUTES PER DAY/WATERING DAYS PER WEEK)												
HYDROZONE	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JULY.	AUG.	SEP.	OCT.	NOV.	DEC.
DRIP	5/2	6/2	10/2	9/3	12/3	10/3	15/3	14/3	15/2	7/2	6/2	
BUBBLERS	3/1	6/2	8/2	9/2	10/2	15/2	12/3	13/3	11/3	10/2	5/2	5/2

IRRIGATION SCHEDULE: ESTABLISHED LANDSCAPE												
(CIRCUIT MINUTES PER DAY/WATERING DAYS PER WEEK)												
HYDROZONE	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JULY.	AUG.	SEP.	OCT.	NOV.	DEC.
DRIP	0/0	5/2	8/2	12/2	10/3	15/3	15/3	12/3	12/3	10/3	9/1	9/1
BUBBLERS	0/0	8/1	10/1	6/2	8/2	12/2	15/2	15/2	12/2	8/2	4/2	4/2

- FACTORS:
- INDIVIDUAL CIRCUIT CYCLE START TIMES TO BE DETERMINED IN FIELD BASED UPON SOIL INFILTRATION RATES AND CLIMATIC CONDITIONS.
 - IRRIGATION SYSTEM OPERATING TIMES SHALL BE WITHIN THE TIME FRAME OF 9:00 PM TO 3:00 AM.
- A COPY OF THE IRRIGATION SCHEDULE SHALL BE KEPT WITH THE CONTROLLER SCHEDULE IRRIGATION CLOCK PER MANUFACTURERS ET SCHEDULE.

THE CONTRACTOR IS CAUTIONED TO DEFEND THE HYDRAULICS OF THIS SYSTEM BY FOLLOWING THE PLANS AND SPECIFICATIONS CAREFULLY. PARTICULAR ATTENTION SHOULD BE GIVEN TO: OPERATING CONTROLLERS PROPERLY, OPERATING THE SYSTEM AFTER FLOW CONTROLS OR SECTION VALVES HAVE BEEN ADJUSTED TO DESIGNED OPERATING PRESSURE, AND FOLLOWING MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF ALL ITEMS. THE SIZING OF VALVES AND PIPES IS SPECIFIC TO THIS DESIGN AND LAYOUT. IF MODIFICATIONS ARE MADE IN THE FIELD, ALL VALVES AND PIPING MUST BE SIZED PROPERLY TO CONFORM WITH THE STANDARD GPM AND VELOCITY REQUIREMENTS. CONTRACTOR MUST SUBMIT CALCULATIONS AND MODIFIED LAYOUT ON OVERLAY SHEET FOR WRITTEN APPROVAL PRIOR TO INSTALLING THE CHANGED ITEM(S).

IT IS INTENDED THAT THE PIPING LAYOUT IS DIAGRAMMATIC, ALTHOUGH THE SIZING IS SPECIFIC TO THE LAYOUT. PIPING SHALL BE ROUTED AROUND TREES, SHRUBS, ARCHITECTURAL FEATURES ETC. IN SUCH A MANNER AS TO AVOID DAMAGES TO PLANTINGS OR OTHER FEATURES. ANY PIPING SHOWN WITHIN PAVED AREAS OR WITHIN THE FOOTPRINT OF A HOUSE IS FOR DESIGN CLARITY ONLY, AND SHALL BE INSTALLED IN PLANTER AREAS. ALL MATERIAL IS SPECIFIC TO THIS DESIGN. THE IRRIGATION SYSTEM(S) HAVE BEEN DESIGNED ACCORDING TO THE OPERATIONAL CHARACTERISTICS OF THE SPECIFIED EQUIPMENT. IF ANY CHANGES OR SUBSTITUTIONS ARE MADE WITHOUT THE APPROVED WRITTEN CALCULATIONS, CONTRACTOR SHALL

WELO Water Budget and Water Use Calculator

INSTRUCTIONS:

- Enable macros.
- Enter values in blue cells. Gray cells will automatically fill.
- For Eto, refer to Appendix A of the ordinance, available here: <https://www.water.ca.gov/Programs/Water-Use-And-Efficiency/Urban-Water-Use-Efficiency>.
- Print this sheet and submit with Landscape Document Package for the Comprehensive Performance Compliance Pathway.

Date: 3/10/2025						
Project Name: 556 Richmond Street						
Project Contact: Kirstin Baldwin						
Project Contact Email: kirstin@bk&a.com						

Maximum Applied Water Allowance (MAWA)	Project Type	ETo	ETAF	Special Landscape Area (SLA)	Total Landscape Area Including SLA	MAWA (gal/yr)
	Residential	41.6	0.55	-	780	11,065
MAWA = (ETo) * (0.62) * (ETAF * LA) + ((1-ETAF) * SLA)						

Estimated Total Water Use (ETWU)	ETo	(SF * PF) / IE	SLA	ETWU (gal/yr)	
	41.6	289	-	7,451	
ETWU = (ETo) * (0.62) * ((PF * SF) / IE) + SLA					
Difference between MAWA and ETWU				3,614	Project meets water budget.

ETWU Calculation (Regular landscape areas)	Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	Shrubs	Drip	580	0.30	0.81	215
	2	Trees	Bubbler	200	0.30	0.81	74
	3						-
	4						-
Landscape area (not including SLA)				780			289

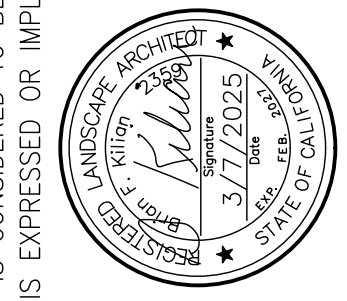
ETWU Calculation (Special Landscape Areas (SLA))	Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE
	Edible planting area		1.0	-
	Multi-use and sports field turf area		1.0	-
	Area irrigated with recycled water		1.0	-
	Pool		1.0	-
Total SLA		0		0

Total Landscape Area (including SLA) from ETWU Calculation	780
---	------------

NOTE: THIS IS AN ORIGINAL UNRECORDED WORK. ANY CHANGES, REVISIONS, CORRECTIONS, REVISIONS OR OTHERWISE MUST BE MADE BY THE ORIGINAL CONTRACTOR OF BK&A OR BORRECCO/KILIAN & ASSOCIATES, INC.

BORRECCO/KILIAN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS

649 Main Street #102-224
Barrington, CA 94553
Phone: 925/312-5506



KEY	DATE	DESCRIPTION

556 RICHMOND STREET
EL CERRITO, CA

DATE: 3/7/2025
DRAWN BY: KDF
THIS PLAN IS:

SHEET NUMBER: 2
TITLE OF DRAWING: IRRIGATION

IRRIGATION PLAN AND WATER CALCULATIONS

MEMORANDUM

Date: December 5, 2024

To: Diego Romero
Associate Planner
City of El Cerrito

From: Steve Abrams

Subject: Transportation Analysis for the Proposed Preschool at 556 Richmond Street in the City of El Cerrito

1) SUMMARY

Abrams Associates has completed a transportation analysis for the proposed preschool, which is expected to include a maximum of 25 students. The site is currently occupied by a single-family home with 1,393 square feet of building space. Based on this analysis, the proposed project would be forecast to generate about 25 AM and 22 PM peak hour vehicle trips. The current total proposed, approved, and under construction developments in the SPASP area is less than the total growth assumed in the SPASP EIR. Thus, the proposed project, combined with all the planned, approved, and under construction projects in the SPASP area, would not result in significant impacts beyond the ones identified in the SPASP EIR, and therefore no additional traffic impact analysis would be required for this project (subject to final approval by the City of El Cerrito). Although not required to address CEQA impacts, the following recommendations are provided for City consideration in the context of improving access and circulation for all travel modes for the project.

1. Ensure adequate sight distance for vehicles exiting the driveway and for pedestrians on the adjacent sidewalk. This would include ensuring that trees and landscaping along the frontage of the project would not restrict sight distance. This means keeping groundcover no higher than two feet and tree canopies trimmed up to at least six feet from the ground.
2. In compliance with El Cerrito Municipal Code section 19.20.060(D) and in coordination with the City, designate a passenger loading area directly adjacent to the school to allow

for student drop off and pick up during school hours. The project's frontage on Lincoln Avenue is proposed for passenger loading area because the project frontage on Richmond Street has red curb due to its proximity to a fire hydrant. Based on the parking demand analysis it is recommended that the passenger loading area be designed to accommodate a minimum of two vehicles, and preferably with room for three vehicles.

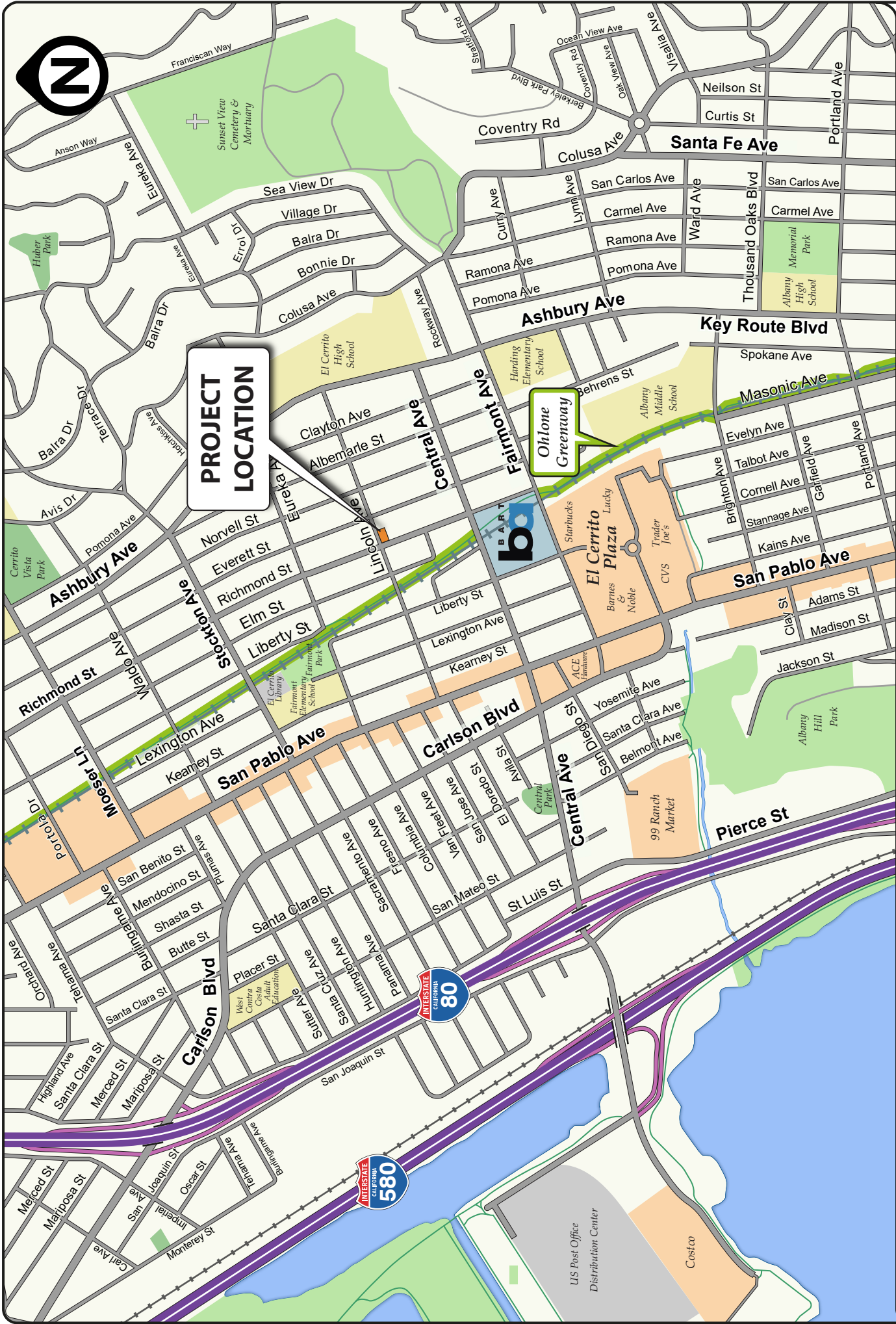
3. The project is not anticipated to cause any significant impacts on surrounding intersections as the volume of trips generated is very low and trips would be distributed onto the various streets that provide access to the area.
4. Parking summary: Two parking spaces are required by code for the project. One on-site parking space plus bike parking is proposed to be provided. With City approval the three space parking requirement for the project can theoretically be reduced to two spaces (by 25%) due to the fact that the project is located less than ¼ mile from a BART Station, as per Section 19.24.040 of the El Cerrito Municipal Code. The project is proposing to provide two 2 long-term bicycle parking spaces on-site, meeting Code requirements.

2) PROJECT DESCRIPTION

The proposed project involves remodeling an existing single-family home to accommodate a 25-student day care center with 4 employees. The project would serve children between the ages of 2 and 6 and is proposed to operate from 8:00 AM to 5:30 PM. The project location and the surrounding roadway system are shown in **Figure 1**. One parking space would be provided on site in the existing project driveway and drop-off and pick-up is proposed to take place in a designated passenger loading area to be directly adjacent to the building on Lincoln Avenue.

3) PROJECT TRIP GENERATION

As noted above, the proposed project would have 25 students and about 1,393 square feet of building space. The trip generation rates are based on the ITE rates a day care center (Land Use Code 565) derived from fitted curve equations in the 11th Edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual. As shown in **Table 1**, the proposed project is forecast to generate about 136 trips per day with about 25 new trips during the AM peak hour and 22 trips during the PM peak hour. Once this traffic is distributed onto the various streets that provide access to the area, the resulting increase in traffic would not be forecast to be significant in relation to the existing traffic volumes in the area.



**PROJECT
LOCATION**

**Ohlone
Greenway**

FIGURE 1 | PROJECT LOCATION
TRANSPORTATION ANALYSIS
556 Richmond Street
City of El Cerrito

Table 1
Trip Generation Calculations

Land Use	ITE Code	Size	ADT	AM Peak Hour			PM Peak Hour		
				In	Out	Total	In	Out	Total
ITE Day Care Center Trip Rates - Trips per student	565		5.45	0.53	0.47	1.00	0.41	0.47	0.88
Net Total Project Trip Generation		25 students	136	13	12	25	10	12	22

SOURCE: Institute of Transportation Engineers Trip Generation Manual (11th Edition).

4) SITE PLAN REVIEW

This section evaluates access and circulation for all travel modes within the proposed site, based on the site plan included in the Conditional Use Permit Application, dated March 25, 2024.

Vehicle Access and Passenger Loading - Staff would access the project site parking via the driveway on Richmond Street and parents would utilize the passenger loading area expected to be designated by the City adjacent to the project site on Lincoln Avenue. The project is proposing to have one staff member assigned to facilitate curbside drop-off and pick-up and to instruct all parents that if the passenger loading spaces are occupied (and they cannot find space to pull out of the traveled way) then they must continue past the school and go around the block to avoid causing delays to through traffic on Lincoln Avenue. Based on the proposed plan there should be no impacts to through traffic on Lincoln Avenue.

Project Driveway Sight Distance - The project driveway on Richmond Street is on a straight section of roadway and will provide adequate sight distance between vehicles exiting the driveway and approaching vehicles and pedestrians on Kearney Street. However, this assumes that trees and landscaping along the Richmond Street frontage would be adequately maintained so they do not restrict sight distance. This would involve keeping groundcover no higher than two feet and having tree canopies trimmed up to at least six feet from the ground.

Recommendation: Ensure the project driveway allows for adequate sight distance by keeping groundcover no higher than two feet and having tree canopies trimmed up to at least six feet from the ground.

5) BICYCLE PARKING, PEDESTRIAN ACCESS, AND ON-SITE CIRCULATION

Staff and students would access the building through the entrance on Richmond Street. Existing and planned bicycle facilities in the vicinity of the project are shown in **Figure 2**. Section 19.24.090 of the El Cerrito Municipal Code requires bicycle parking for schools, as shown in **Table 2**. The project would consist of one classroom, requiring 2 long-term bicycle parking spaces. The project would provide two 2 long-term bicycle parking spaces on-site, meeting Code requirements.

Table 2
Bicycle Parking Requirements

Land Use	Size	Short Term Rate	Required Parking	Long Term Rate	Required Parking
School	1 classroom	n/a	0	2 per classroom	2

6) TRANSIT ACCESS

The project is located in a transit-rich area with easy access to BART and AC Transit bus lines. The El Cerrito Plaza BART station is located just under 1,000 feet from the project site. AC Transit provides bus service in the project vicinity with the nearest bus stops at the BART station and at the intersection of San Pablo Avenue with Lincoln Avenue, about five blocks west of the project site. The bus stop provides a bench but no bus shelter. **Figure 3** presents the available transit service in the vicinity of the project.

7) VEHICLE PARKING REQUIREMENTS

The proposed project would include one parking space in the existing driveway. Table 3 presents a comparison of the required and proposed parking supply. As seen in Table 3, the project would be short of its parking requirement by two spaces. However, with City approval this parking requirement can be reduced by 25% due to the fact that the project is located less than ¼ mile from a BART Station, as per Section 19.24.040 of the El Cerrito Municipal Code. With this reduction there would be two parking spaces required by code for the project.












**PROJECT
LOCATION**

**Ohlone
Greenway**

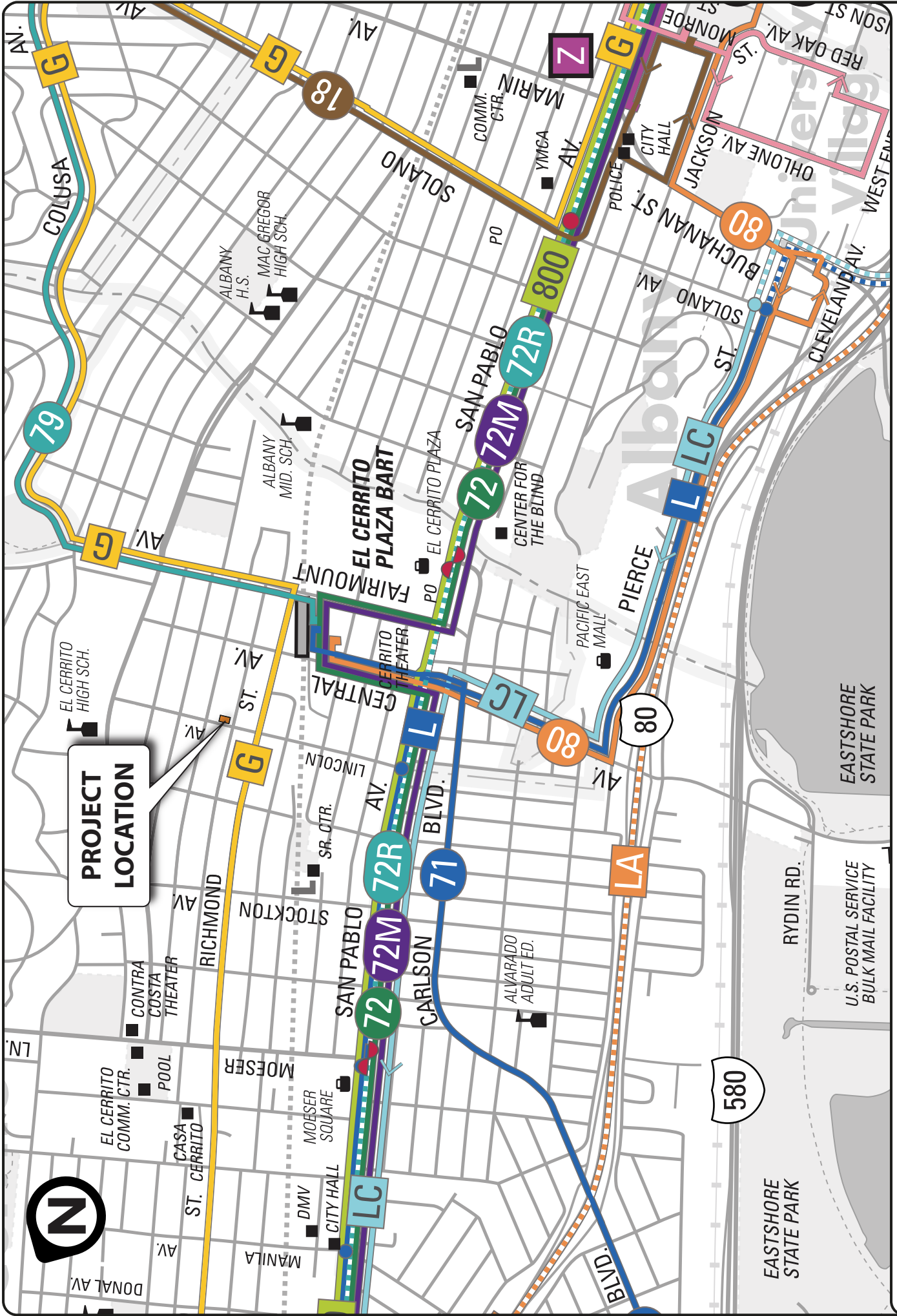
LEGEND

LOCAL BICYCLE FACILITIES

-  Class I - Shared Use Path
-  Proposed Class I
-  Class II - Bicycle Lane
-  Proposed Class II
-  Class III - Bicycle Route
-  Proposed Class III
-  Class III with Sharrow
-  Proposed Class III with Sharrow
-  Proposed Bike Boulevard

**FIGURE 2 | BICYCLE FACILITIES
TRANSPORTATION ANALYSIS
556 Richmond Street
City of El Cerrito**





Abrams Associates
TRAFFIC ENGINEERING, INC.

FIGURE 3 | TRANSIT SERVICE
TRANSPORTATION ANALYSIS
556 Richmond Street
City of El Cerrito

**Table 3
Required and Proposed Parking Supply**

Land Use	Size	Minimum Requirement ¹	Maximum Permitted	Parking Supply	Within Range?
Day Care Center	4 employees	3	n/a	1	No

Note: ¹ As per Sections 19.24.040 and 19.20.110 of the El Cerrito Municipal Code. With City approval, the parking requirement can be reduced by 25% due to the fact that the project is located less than ¼ mile from a BART Station. This reduction would then result in two parking spaces being required by code for the project.

7) VEHICLE PARKING DEMAND ANALYSIS

Institute of Transportation Engineers (ITE) Parking Demand Data for Day Care Centers -

Based on surveys of 39 different day care centers the ITE data on day cares in a general urban/suburban environment indicates the project would generate a peak parking demand of about six vehicles. The forecasts for the proposed project are shown in **Table 4** and are based on the rates for a Day Care Center (ITE Land Use Code 565) in a general urban/suburban environment.¹ Therefore, based on surveys of similar land uses the peak parking demand is forecast to be approximately 6 spaces. This demand includes all vehicles, such as guests, staff, and deliveries. Based on this data it is recommended that a passenger loading area be provided that could accommodate a minimum of two vehicles, and preferably with room for three vehicles.

**Table 4
Off-Street Parking Calculations Based on ITE Data**

Data Source	Land Use	Size		Parking Ratio	Peak Demand
ITE Day Care Center Rates Per Student (General Urban/Suburban)	Day Care	25	students	0.25	6

¹ *Parking Generation Manual, 5th Edition*, Institute of Transportation Engineers, Washington D.C., 2019.

From: [Daniele Panicacci](#)
To: [Planning Mailbox](#)
Subject: Opposition to Proposed School/Daycare Permit at 556 Richmond Street - Application PL24-0044
Date: Thursday, September 4, 2025 3:45:52 PM

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Dear City of El Cerrito Planning Division,

We are neighbors writing to strongly oppose the proposed use of the property at **556 Richmond Street** for any daycare or school - Application PL24-0044.

Our concerns include the following:

- **Misrepresentation of Use:** We have received text messages directly from the applicant, Ms. Fathima Badurudeen, where she explicitly stated: *“Not a daycare, but a Montessori School. The second branch of my school”* and *“It’s not a daycare.”* (Her first branch is located in Albany - Happy Day Montessori school.) This clearly demonstrates that the project being applied for as a daycare center is in fact intended to be a **Montessori school**, a much more intensive use that conflicts with the application under review. This inconsistency undermines the accuracy of the CUP request and raises serious concerns about transparency and compliance.
- **Violation of Municipal Code 19.20.110:** El Cerrito’s zoning code provides that:
 1. *“Two day care centers shall be located at least 300 linear feet apart.”* The proposed facility at 556 Richmond is directly adjacent to the existing licensed daycare at 557 Everett Street—well under 300 feet.
 2. *“In no case shall any residential property have more than one day care adjacent to its property line.”* If this CUP were approved, both **557 Everett Street** and **555 Everett Street** would each have two daycares adjacent to their property lines, in direct violation of the code.
These zoning violations alone provide grounds for denial.
- **Existing Daycare Adjacent:** There is already a licensed daycare operating at 557 Everett Street. Placing another childcare business directly next door would concentrate incompatible uses in a single-family neighborhood, contrary to the intent of the zoning code and the General Plan’s protections for residential character.
- **Unapproved Airbnb Activity:** The property at 556 Richmond Street has been used as an Airbnb/short-term rental without clear approval. This pattern raises questions about compliance history and the applicant’s willingness to follow city regulations.
- **Parking Impacts and Location:** Parking is already a challenge in this area. The property is located only three blocks from **El Cerrito High School** and one block from **El Cerrito BART**, where parking congestion is already significant. With the new apartment complex planned on the BART overflow parking lot, available parking will become even more limited. Adding a school or daycare at 556 Richmond would make the parking situation a nightmare for neighbors and unsafe for drop-off/pick-up.

- **No Street Parking at Site:** The frontage of 556 Richmond Street has no legal parking due to a fire hydrant and continuous red curb. This means there is no curbside drop-off or loading zone, as required for daycare or school facilities. The lack of safe, legal loading alone is a major safety and code concern.
- **Traffic, Noise, and Neighborhood Compatibility:** The proposed use would generate substantial traffic during drop-off/pick-up times, increase noise levels from outdoor play, and disrupt the quiet, low-density residential character of the neighborhood.

For all these reasons, we respectfully urge the Planning Division to **deny the CUP application** for 556 Richmond Street. The project violates El Cerrito Municipal Code 19.20.110, misrepresents its intended use, fails to provide required parking/loading, duplicates an existing adjacent facility, and threatens neighborhood livability.

Thank you for considering our opposition. We ask that this letter and its points be entered into the public record for the Planning Commission's review.

Sincerely,
Daniele Panicacci
El Cerrito, CA

From: [Marisa Singer](#)
To: [Planning Mailbox](#)
Cc: [Reed O'Brien](#)
Subject: Public comment for Application PL24-0044
Date: Tuesday, September 9, 2025 10:30:45 AM

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Good morning,

I live at 6823 Lincoln Ave, which is across the street from 556 Richmond St where they submitted the PL24-0044 application to open an in-home daycare.

If 556 Richmond St. opened a daycare there would then be 2 in-home day care centers right next to each other. The other one is named Little Footprints and it abuts the backyard where the new daycare would be located.

Both daycares and their outdoor yards where the children play would be located directly in front of our home. As such, we are concerned about the noise of the children as well as traffic for pickup/dropoff time that would be generated by this new daycare center opening up next to the other one.

This email serves as our written comment that Application PL24-0044 please be denied. We will also attend the planning meeting in person to lodge our request there.

Two in-home daycares side by side in a residential neighborhood is too much noise and traffic for neighbors and community.

Also, could you please send the project file for PL24-0044 for our review?

Sincerely,
Marisa Singer & Reed O'Brien